

1 VICINITY PLAN

SCALE: NTS



Mercer Grove House

GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THE DESIGN:
 - 2018 INTERNATIONAL RESIDENTIAL CODE
 - 2018 WASHINGTON STATE ENERGY CODE
 - 2018 IRC M1508 WHOLE HOUSE VENTILATION
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED IN FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY.
- ALL FASTENERS AND CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF G90 PER ASTM A123 AND/OR ASTM A153.304. 316 STAINLESS STEEL MAY BE SUBSTITUTED IN LIEU OF GALVANIZED PRODUCTS. NO STAINLESS STEEL PRODUCTS SHALL COME IN CONTACT WITH GALVANIZED PRODUCTS.
- SECURITY FROM CRIMINAL ACTIVITY: DEAD BOLT (MIN 1/2" THROW) AND VIEWPOINT REQUIRED @ ALL EXTERIOR DOORS. WINDOW AND SLIDING DOORS WITHIN 10' OF GRADE SHALL BE PROVIDED WITH LATCHING DEVICES. ALL LOCKS SHALL BE ABLE TO BE OPENED WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
- CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY CITY JURISDICTION PRIOR TO ANY EARTH DISTURBANCE.
- NO SEDIMENT SHALL BE TRACED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.
- LEGAL COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS ARE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

OWNER:
PAUL BOSVELD + YUSHAN LIN
7785 SUNSET HWY UNIT 443
MERCER ISLAND, WA 98040
954.918.6271
CONTACT: PAUL BOSVELD
PAULBOSVELD@GMAIL.COM

ARCHITECT:
WITTMAN ESTES
6007 12TH AVE S
SEATTLE, WA 98108
206.735.7170
CONTACT: MATT WITTMAN, AIA
MATT@WITTMAN-ESTES.COM

STRUCTURAL ENGINEER:
J WELCH ENGINEERING, LLC
JOSH WELCH, SE
PO BOX #28427
SEATTLE, WA 98118
206.356.9553
JOSHTWELCH@GMAIL.COM

CIVIL ENGINEER:
G2 CIVIL + LITCHFIELD ENGINEERING
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
CONTACT: NICOLE MECUM, PE
NICOLEM@G2CIVIL.COM
425.821.5038 (MAIN)
425.364.5284 (DIRECT)

GEOTECHNICAL ENGINEER:
GEO GROUP NORTHWEST
13705 BEL-RED ROAD
BELLEVUE, WA 98005
425.649.8757
CONTACT: BILL CHANG, PE
WCHANG@GEOGROUPNW.COM

ARBORIST:
LAYTON TREE CONSULTING, LLC
BOB LAYTON, RCA
PO BOX #572
SNOHOMISH, WA 98291
425.220.5711
BOB@LAYONTREECONSULTING.COM

PROJECT DATA

PARCEL # 362350-0037

ADDRESS:
7345 SE 38TH ST
MERCER ISLAND, WA 98040

ZONE: R-15

LOT AREA: 24,138 SF (0.55 ACRES)

CONSTRUCTION TYPE: V-B, PROVIDE NFPA 13R SPRINKLERS

LEGAL DESCRIPTION:
ISLAND PARK REPLAT OF W 100 FT MEAS
ALG N LN & POR VAC ST ADJ E OF W LN PROD S

PROJECT DESCRIPTION:
CONSTRUCTION OF NEW SINGLE FAMILY HOME WITH DETACHED CARPORT

CAR2:
APPLICATION SUBMITTED #CAO21-006

BUILDING AREA SUMMARY:

1F (HEATED):	830 SF
2F (HEATED):	1321 SF
3F (HEATED):	965 SF
CARPORT (UNHEATED):	671 SF

HEATED AREA: 3117 SF
TOTAL AREA: 3788 SF

MIMC 19.10.070 TREE REPLACEMENT
ONLY 2 VIABLE TREES (#16 AND #18) ARE PROPOSED FOR REMOVAL PER ARBORIST'S REPORT

TREES' DIAMETER = 10"-24" AT DBH, TO BE REPLACED AT RATIO OF 2:1

REQUIRED: 4 REPLACEMENT TREES
PROVIDED: 4 REPLACEMENT TREES

CONIFEROUS REPLACEMENT TREES TO BE 6' TALL MINIMUM. DECIDUOUS REPLACEMENT TREES TO BE 1 1/2" CALIPER MINIMUM.

REPLACEMENT TREES SHALL BE PLANTED BETWEEN 10/1 AND 4/1 FOLLOWING THE APPLICABLE TREE REMOVAL.

MIMC 19.02.020.C.1 REQUIRED YARDS
FRONT:
REQUIRED: 20'-0", PROVIDED: 47'-11" (HOUSE)
SIDES:
REQUIRED: 17'-6" NET, 7'-6" WEST, 10'-0" EAST
PROVIDED: 53'-10" NET, 43'-8" WEST, 10'-2" EAST
REAR:
REQUIRED 25'-0", PROVIDED: 116'-3"

MICC 19.02.020.D.1 GROSS FLOOR AREA
MAX. GROSS FLOOR AREA: (0.40) 24,138 = 9655 SF

1F:	62 SF
2F:	1760 SF
3F:	1051 SF
CARPORT:	164 SF

PROPOSED GROSS FLOOR AREA: 3037 SF

MIMC 19.02.020.E BUILDING HEIGHT LIMIT
MAX. BUILDING ELEVATION ALLOWED: 30'-0"
BUILDING ELEVATION PROVIDED: 29'-11"
(SEE BUILDING SECTIONS FOR HEIGHTS)

MIMC 19.02.020.E.2 DOWNHILL BUILDING FACADE
MAX. HEIGHT OF DOWNHILL FACADE: 30'-0"
DOWNHILL FACADE HEIGHT PROVIDED: 26'-10"
(SEE BUILDING SECTIONS FOR HEIGHTS)

MIMC 19.02.020.E.4 AVERAGE BUILDING ELEVATION
AVERAGE BUILDING ELEVATION = 215.3'
(SEE A0.3 FOR DIAGRAM AND CALCULATIONS)

MIMC 19.02.020.F LOT COVERAGE
LOT SLOPE: 26%
ALLOWABLE: 35% OF 24,138 SF = 8448.3 SF
PROPOSED: 3429 SF
DRIVEWAY: 252 SF

MIMC 19.020.F.3 LANDSCAPING REQUIRED
LOT SLOPE: 26%
REQUIRED: 65% OF 24,138 SF = 15,690 SF
PROPOSED: 20,865 SF

MIMC 19.02.020.F.3.B HARDSCAPE
A MAXIMUM OF 9% OF THE NET LOT AREA MAY CONSIST OF HARDSCAPE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, WALKWAYS, DECKS, ETC.

9% OF LOT AREA (24,138 SF) = 2172 SF MAX. HARDSCAPE AREA

HARDSCAPE ELEMENTS (SEE SHEET L1.0):

STAIRS:	77 SF
UNCOVERED WALKWAYS:	135 SF

PROPOSED HARDSCAPE AREA: 212 SF

MIMC 19.020.G.2 PARKING REQUIRED
REQUIRED: 2 CARS
PROPOSED: 2 CARS (CARPORT)

MIMC 19.02.040.D CARPORTS IN REQUIRED YARDS
FRONT:
REQUIRED: 10'-0"
PROVIDED: 10'-1"

SHEET INDEX:

A0.0 COVER SHEET SURVEY

CIVIL
C1.0 SITE IMPROVEMENT PLAN
C2.0 TREE RETENTION & TESC PLAN
C3.0 STORM DRAINAGE PROFILE

LANDSCAPE
L1.0 ENLARGED LANDSCAPE PLAN

ARCHITECTURAL
A0.1 SITE PLAN
A0.3 AVERAGE GRADE CALCULATIONS
A0.9 GENERAL PLAN NOTES

A1.0 FLOOR PLAN - 1F
A1.1 FLOOR PLAN - 2F
A1.2 FLOOR PLAN - 3F
A1.3 ROOF PLAN

A1.4 RCP - 1F
A1.5 RCP - 2F
A1.6 RCP - 3F

A2.0 EXTERIOR ELEVATIONS
A2.1 EXTERIOR ELEVATIONS

A3.0 SECTIONS
A3.1 SECTIONS
A3.2 SECTIONS
A3.4 SECTIONS
A3.5 SECTIONS

A5.0 DETAILS
A5.1 ASSEMBLY DETAILS
A5.2 DETAILS
A5.3 EXTERIOR DETAILS
A5.4 ROOF DETAILS

A6.0 WINDOW SCHEDULE

STRUCTURAL
S1.0 GENERAL STRUCTURAL NOTES
S1.1 GENERAL STRUCTURAL NOTES

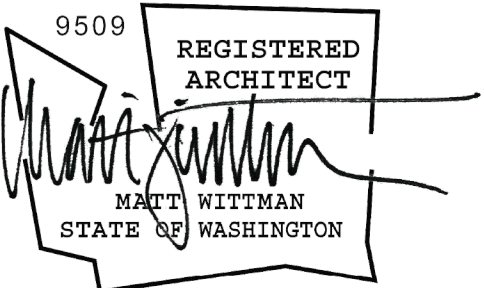
S2.0 FOUNDATION PLAN
S2.1 FIRST FLOOR FRAMING PLAN
S2.2 SECOND FLOOR FRAMING PLAN
S2.3 ROOF FRAMING PLAN

S3.0 STRUCTURAL DETAILS
S3.1 STRUCTURAL DETAILS
S3.2 STRUCTURAL DETAILS
S3.3 STRUCTURAL DETAILS
S3.4 STRUCTURAL DETAILS
S3.5 STRUCTURAL DETAILS
S3.6 STRUCTURAL DETAILS
S3.7 STRUCTURAL DETAILS
S3.8 STRUCTURAL DETAILS
S3.9 STRUCTURAL DETAILS

6007 12th Avenue S
Seattle, WA 98108

206-735-7170
info@wittman-estes.com
www.wittman-estes.com

Architecture + Landscape



2014

Mercer Grove

7345 SE 38TH ST
MERCER ISLAND, WA 98040

TPN #3623500037

CAR2 #CAO21-006
BUILDING PERMIT #2110-193

BUILDING PERMIT
ISSUE DATE: 8/30/2022

REVISIONS

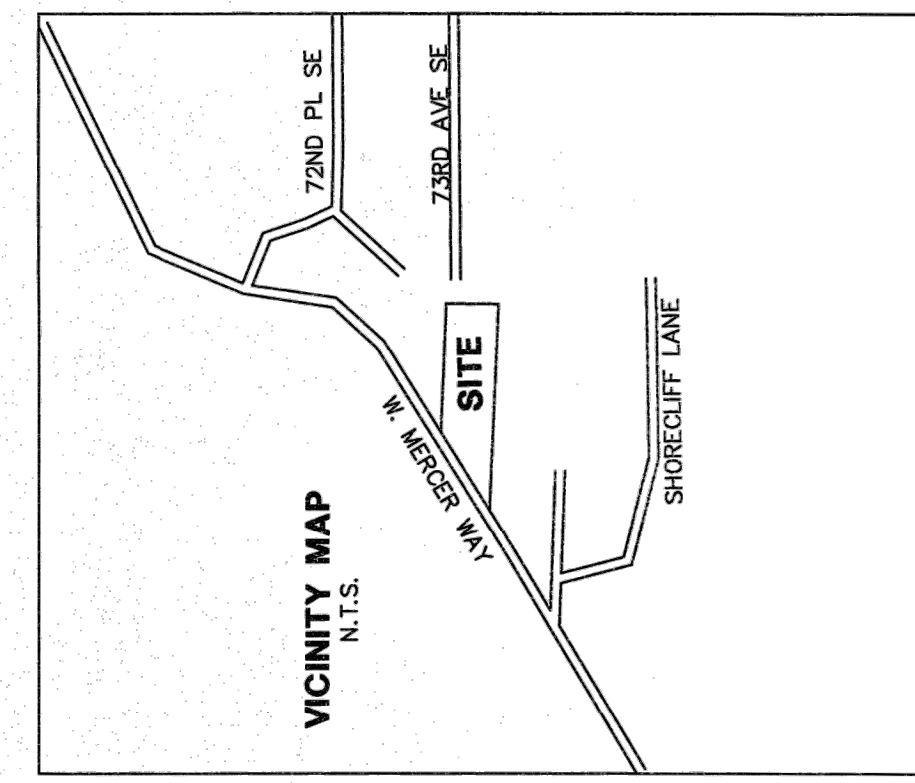
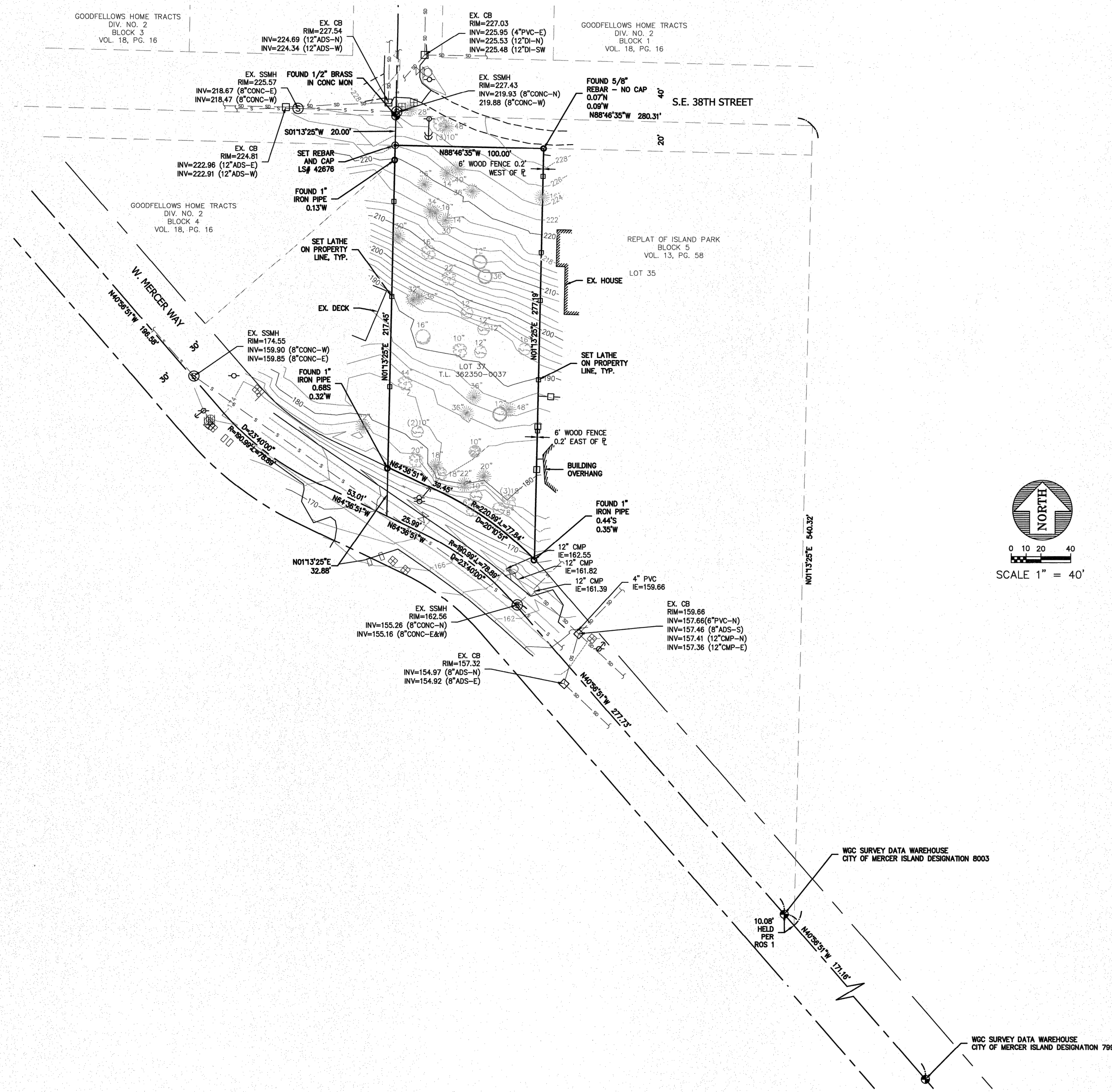
NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

DRAWN BY: HC
CHECKED BY: MW

architectural cover sheet

A0.0

**A PORTION OF THE S.E. 1/4 OF THE S.W. 1/4 OF SECTION 12, T.24N., R.04E., W.M.
MERCER ISLAND, STATE OF WASHINGTON**



LEGAL DESCRIPTION

THE WEST ONE-HUNDRED (100) FEET OF TRACT FIVE (5) (MEASURED ON THE NORTH LINE THEREOF), REPLAT OF ISLAND PARK ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON;

TOGETHER WITH THAT PORTION OF ISLAND AVENUE VACATED BY KING COUNTY COMMISSIONER'S ADJOINING.

DATUM

NAVD 88

BENCHMARK

WGS DESIGNATION 8003
3/8" COPPER PIN IN 4" SQUARE CONCRETE MONUMENT, DOWN 1.1', LOCATED ON MERCER WAY 182 FEET NORTHWEST OF THE INTERSECTION WITH S.E. 40TH STREET
ELEVATION=143.51

HORIZONTAL DATUM

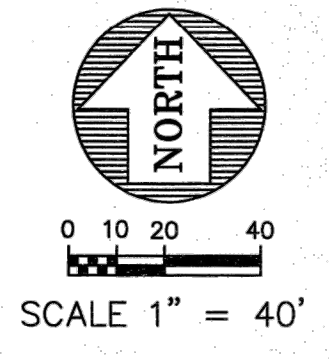
NAD 1983/91

HORIZONTAL CONTROL

HELD LINE BETWEEN WGS SURVEY DATA POINT 8003 AND WGS DATA POINT 7999
IE=N40°56'51"W

INSTRUMENTATION

INSTRUMENT USED: 5 SECOND TOTAL STATION,
FIELD SURVEY WAS BY CLOSED TRAVERSE LOOPS, MINIMUM CLOSURE OF LOOPS WAS 1:22,000, IN ACCORDANCE WITH WAC 332-130-090.



LEGEND

- ☐ WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊖ GAS VALVE
- ☐ MAILBOX
- ⊕ UTILITY POLE
- ⊖ GUY ANCHOR
- ☐ CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊖ SIGN

TREE LEGEND

- ⊕ MAPLE TREE
- ⊖ COTTONWOOD TREE
- ⊕ ALDER TREE
- ⊖ MADRONA TREE
- ⊕ TREE (UNSPECIFIED)

REVISIONS	DESCRIPTION	BY	DATE



10/21/15

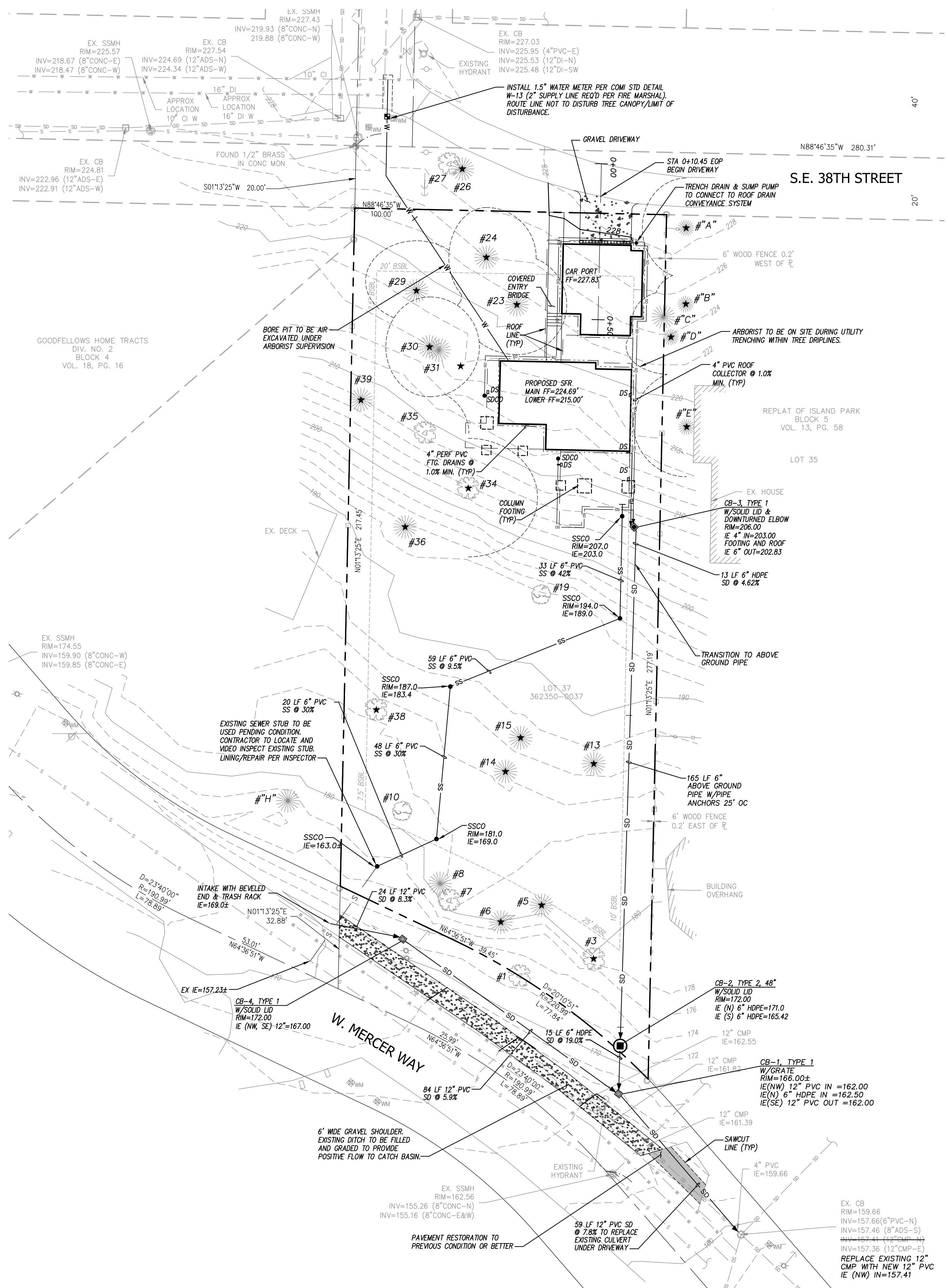
JANE BURNS
BOUNDARY/TOPOGRAPHY PLAN

Encompass
ENGINEERING & SURVEYING
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0230 • Fax: (425) 391-3055
Eastern Washington Division
108 East 2nd Street • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	15605
DATE	10/06/15
SCALE	1"=40'
DESIGNED	SDM
DRAWN	JEF
CHECKED	SDM
APPROVED	SDM
SHEET	1 OF 1

IN SE 1/4 OF THE SW 1/4 OF SECTION 12, T24N, R4E, W.M.

SITE IMPROVEMENT PLAN

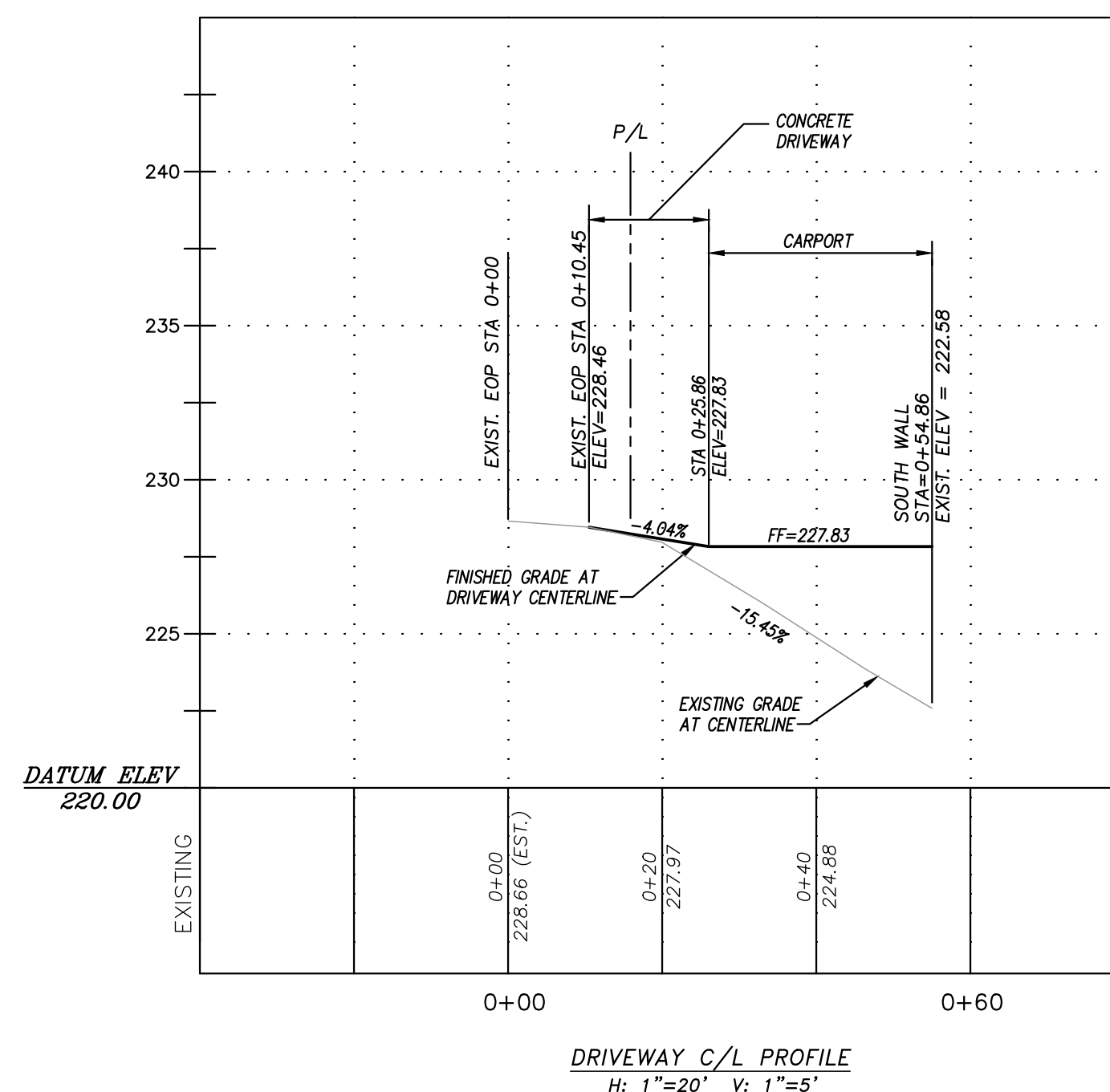
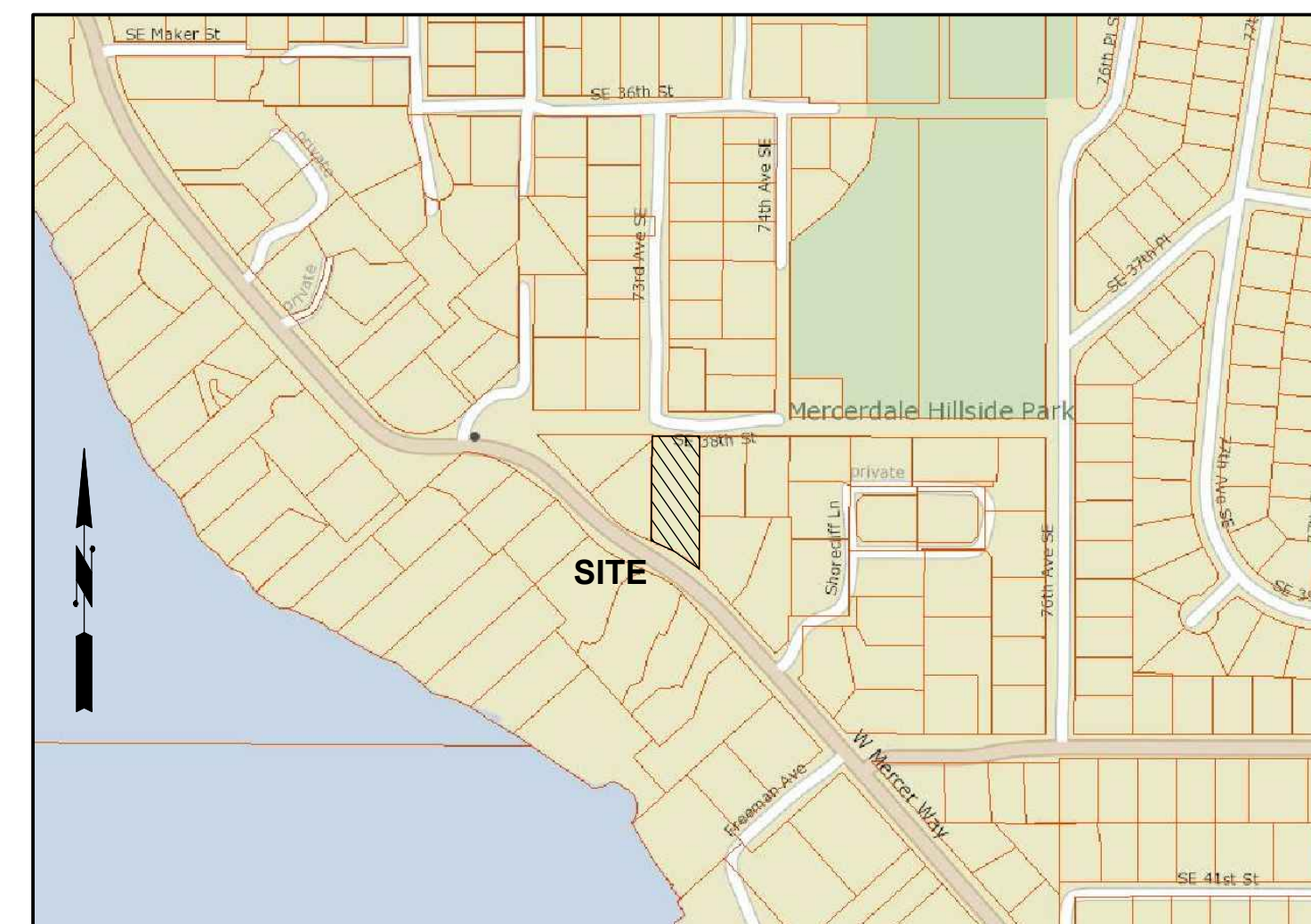
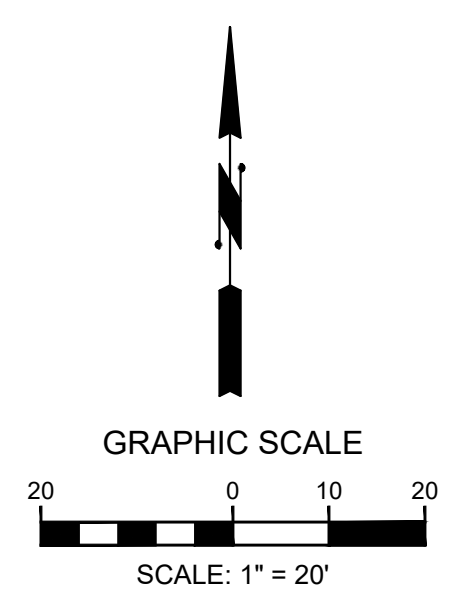


LEGEND

- ⊠ WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊞ GAS VALVE
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- ⊟ UTILITY POLE
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- ⊞ SEWER MANHOLE
- ⊠ SIGN

TREE LEGEND

- ⊙ MAPLE TREE
- ⊙ COTTONWOOD TREE
- ⊙ ALDER TREE
- ⊙ MADRONA TREE
- ⊙ TREE (UNSPECIFIED)
- ★ EXCEPTIONAL TREE >=24" DBH



PROJECT DATA
 PROPERTY ADDRESS: 38XX WEST MERCER WAY, MERCER ISLAND, WA 98040
 TAX LOT NUMBER: 362350-0037
 SITE AREA: 24,288 S.F. (0.56 AC.)
 ZONING: RESIDENTIAL R-15

PROJECT TEAM
 OWNER: PAUL BOSVELD & LIN YUSHAN
 1421 36TH AVE S
 SEATTLE WA 98144
 (954) 918-6271
 ARCHITECT: WITTMAN ESTES
 6007 12TH AVENUE SOUTH
 SEATTLE, WA 98108
 (206) 735-7170
 CONTACT: MATT WITTMAN

CIVIL ENGINEER: G2 CIVIL
 1700 NW GILMAN BLVD, SUITE 200
 ISSAQUAH, WA 98027
 (425) 821-5038
 CONTACT: NICOLE MECUM, PE
SURVEYOR: ENCOMPASS ENGINEERING & SURVEYING
 165 NE JUNIPER STREET, SUITE 201
 ISSAQUAH, WA 98027
 (425) 392-0250
 CONTACT: STEVEN D. McCASKEY, PLS
GEOTECHNICAL ENGINEER: GEO GROUP NORTHWEST, INC.
 13705 BEL-RED ROAD
 BELLEVUE, WA 98005
 (425) 649-8757
 CONTACT: WILLIAM CHANG, PE

LEGAL DESCRIPTION
 THE WEST ONE-HUNDRED (100) FEET OF TRACT FIVE (5) (MEASURED ON THE NORTH LINE THEREOF), REPLAT OF ISLAND PARK ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON;
 TOGETHER WITH THAT PORTION OF ISLAND AVENUE VACATED BY KING COUNTY COMMISSIONER'S ADJUDICATION.

VERTICAL DATUM
 NAVD 88
BENCHMARK
 WGS DESIGNATION 8003
 3/8" COPPER PIN IN 4" SQUARE CONCRETE MONUMENT, DOWN 1.1', LOCATED ON MERCER WAY 182 FEET NORTHWEST OF THE INTERSECTION WITH S.E. 40TH STREET
 ELEVATION=143.51

HORIZONTAL DATUM
 NAD 1983/91
HORIZONTAL CONTROL
 HELD LINE BETWEEN WGS SURVEY DATA POINT 8003 AND WGS DATA POINT 7999
 IE=N40°56'51"W

INSTRUMENTATION
 INSTRUMENT USED: 5 SECOND TOTAL STATION.
 FIELD SURVEY WAS BY CLOSED TRAVERSE LOOPS, MINIMUM CLOSURE OF LOOPS WAS 1:22,000, IN ACCORDANCE WITH WAC 332-130-090.

REFERENCES
 ROS 1 - RECORD OF SURVEY NO. 770289015, RECORDS OF KING COUNTY, WASHINGTON
 LOT LINE REVISION NO. 20090505900011, PER RECORDS OF KING COUNTY, WASHINGTON
 REPLAT OF ISLAND PARK, RECORDED IN VOLUME 13 OF PLATS, PAGE 58
 PLAT OF GOODFELLOW'S HOME TRACTS, DIVISION NO. 2, RECORDED IN VOLUME 18 OF PLATS, PAGE 16

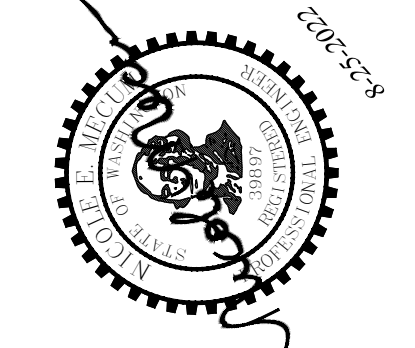
SHEET INDEX
 C1.0 SITE IMPROVEMENT PLAN
 C2.0 TREE RETENTION & TESC PLAN
 C3.0 STORM DRAINAGE PROFILE

SURVEY NOTE
 EXISTING SURVEY FEATURES, BOUNDARY, AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAVE BEEN PREPARED BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, G2 ENGINEERING CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF DATA AND INFORMATION PROVIDED BY OTHERS, OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

DISCREPANCIES
 IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

EXISTING UTILITY NOTE
 ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

CONTRACTOR RESPONSIBILITY
 CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



DATE	NOTES
2-19-21	SUBMITTED TO CLIENT
9-2-21	REVISED PER CITY COMMENTS
10-14-21	ADDED TESC/SUBMITTED TO CLIENT
3-31-22	REVISED PER CITY COMMENTS
6-1-22	REVISED PER CITY COMMENTS
8-25-22	REVISED PER CITY COMMENTS

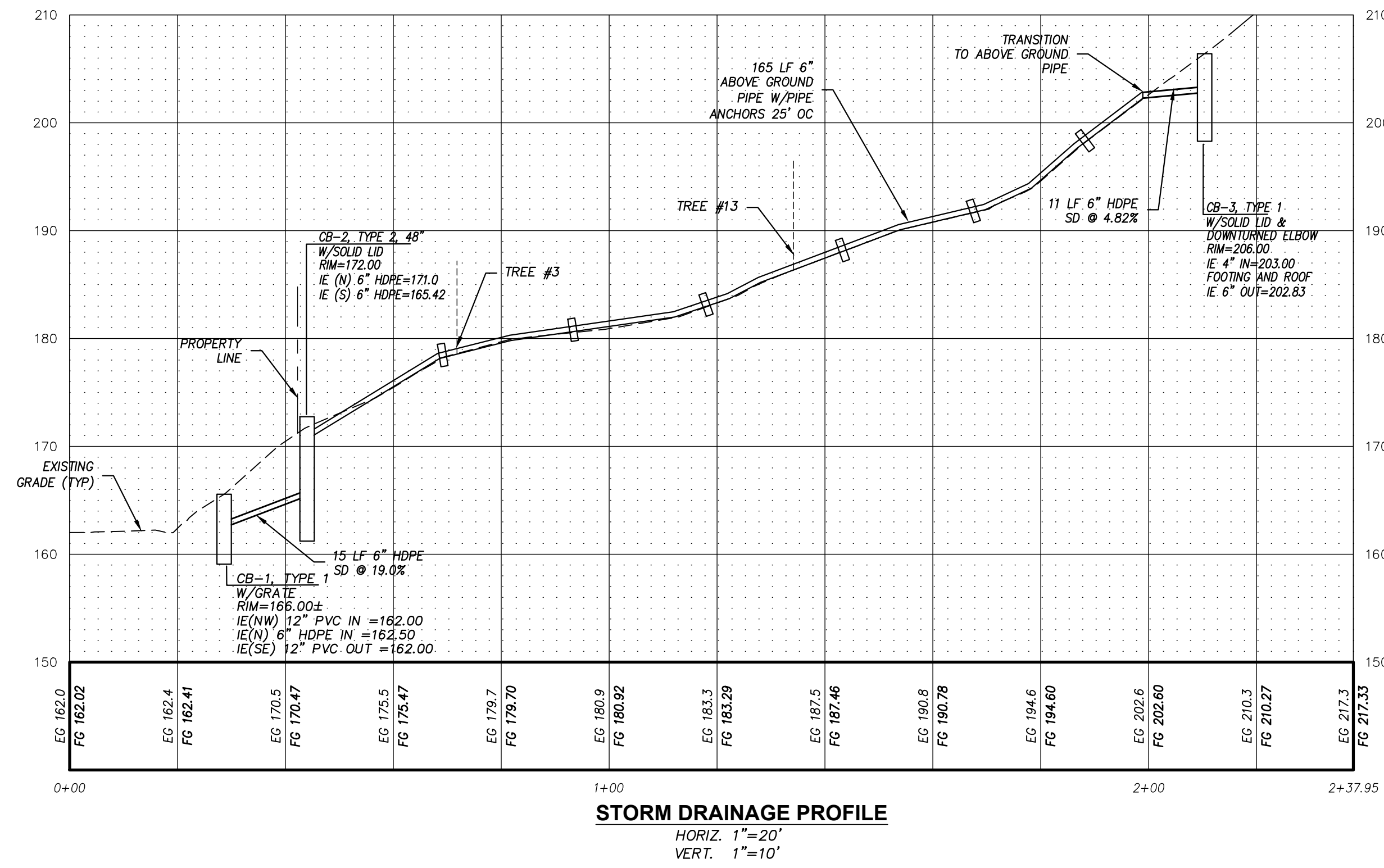
1700 NW GILMAN BLVD, STE 200
 ISSAQUAH, WA 98027
 PHONE: (425) 821-5038

G2 CIVIL

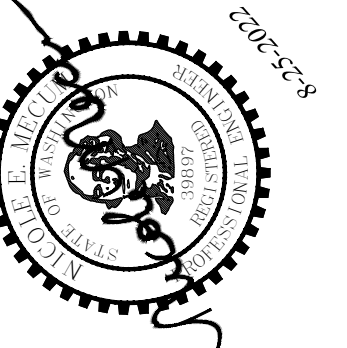
SITE IMPROVEMENT PLAN
38XX WEST MERCER WAY
MERCER ISLAND, WA 98040

811
 Know what's below.
 Call before you dig.

IN SE 1/4 OF THE SW 1/4 OF SECTION 12, T24N, R4E, W.M.



STORM DRAINAGE PROFILE
 HORIZ. 1"=20'
 VERT. 1"=10'



DATE	CHKD BY	NOTES
2-19-21	NEM	SUBMITTED TO CLIENT
9-2-21	NEM	REVISED PER CITY COMMENTS
10-14-21	JAT	ADDED TESC/SUBMITTED TO CLIENT
3-31-22	NEM	REVISED PER CITY COMMENTS
6-1-22	NM	REVISED PER CITY COMMENTS
8-25-22	NEM	REVISED PER CITY COMMENTS

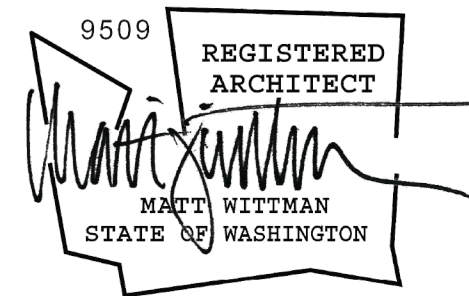
G2 CIVIL
 1700 NW GILMAN BLVD, STE 200
 ISSAQUAH, WA 98027
 PHONE: (425) 821-5038

STORM DRAINAGE PROFILE
 38XX WEST MERCER WAY
 MERCER ISLAND, WA 98040
 PAUL BOSVELD
 14200 1ST AVENUE, S.E.
 SEATTLE, WA 98144
 (954) 918-6271



Know what's below.
 Call before you dig.

SHEET
C3.0



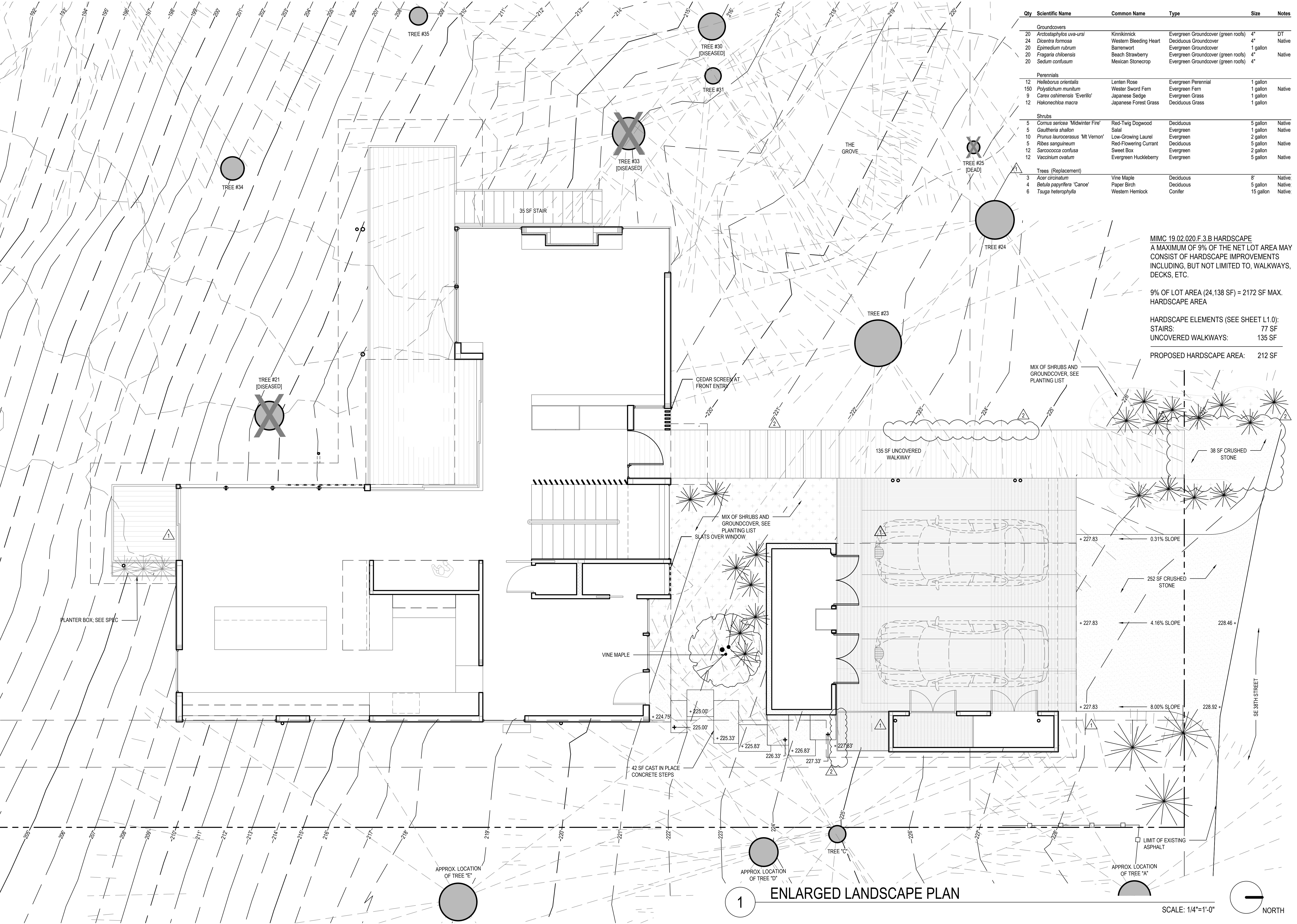
Qty	Scientific Name	Common Name	Type	Size	Notes
Groundcovers					
20	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	Evergreen Groundcover (green roofs)	4"	DT
24	<i>Dicentra formosa</i>	Western Bleeding Heart	Deciduous Groundcover	4"	Native
20	<i>Epimedium rubrum</i>	Barrenwort	Evergreen Groundcover	1 gallon	
20	<i>Fragaria chiloensis</i>	Beach Strawberry	Evergreen Groundcover (green roofs)	4"	Native
20	<i>Sedum confusum</i>	Mexican Stonecrop	Evergreen Groundcover (green roofs)	4"	
Perennials					
12	<i>Helleborus orientalis</i>	Lenten Rose	Evergreen Perennial	1 gallon	
150	<i>Polystichum munitum</i>	Wester Sword Fern	Evergreen Fern	1 gallon	Native
9	<i>Carex oshimensis</i> 'Everillo'	Japanese Sedge	Evergreen Grass	1 gallon	
12	<i>Hakonechloa macra</i>	Japanese Forest Grass	Deciduous Grass	1 gallon	
Shrubs					
5	<i>Cornus sericea</i> 'Midwinter Fire'	Red-Twig Dogwood	Deciduous	5 gallon	Native
5	<i>Gaultheria shallon</i>	Salal	Evergreen	1 gallon	Native
10	<i>Prunus laurocerasus</i> 'Mt Vernon'	Low-Growing Laurel	Evergreen	2 gallon	
5	<i>Ribes sanguineum</i>	Red-Flowering Currant	Deciduous	5 gallon	Native
12	<i>Sarcococca confusa</i>	Sweet Box	Evergreen	2 gallon	
12	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	Evergreen	5 gallon	Native
Trees (Replacement)					
3	<i>Acer circinatum</i>	Vine Maple	Deciduous	8'	Native
4	<i>Betula papyrifera</i> 'Canoe'	Paper Birch	Deciduous	5 gallon	Native
6	<i>Tsuga heterophylla</i>	Western Hemlock	Conifer	15 gallon	Native

MIMC 19.02.020.F.3.B HARDSCAPE
A MAXIMUM OF 9% OF THE NET LOT AREA MAY
CONSIST OF HARDSCAPE IMPROVEMENTS
INCLUDING, BUT NOT LIMITED TO, WALKWAYS,
DECKS, ETC.

9% OF LOT AREA (24,138 SF) = 2172 SF MAX.
HARDSCAPE AREA

HARDSCAPE ELEMENTS (SEE SHEET L1.0):
STAIRS: 77 SF
UNCOVERED WALKWAYS: 135 SF

PROPOSED HARDSCAPE AREA: 212 SF



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BUILDING PERMIT #2110-193

BUILDING PERMIT
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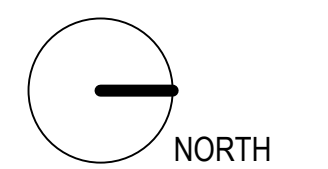
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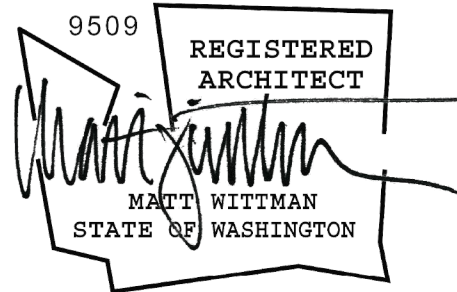
enlarged landscape
plan

L1.0

1 ENLARGED LANDSCAPE PLAN

SCALE: 1/4"=1'-0"





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site plan

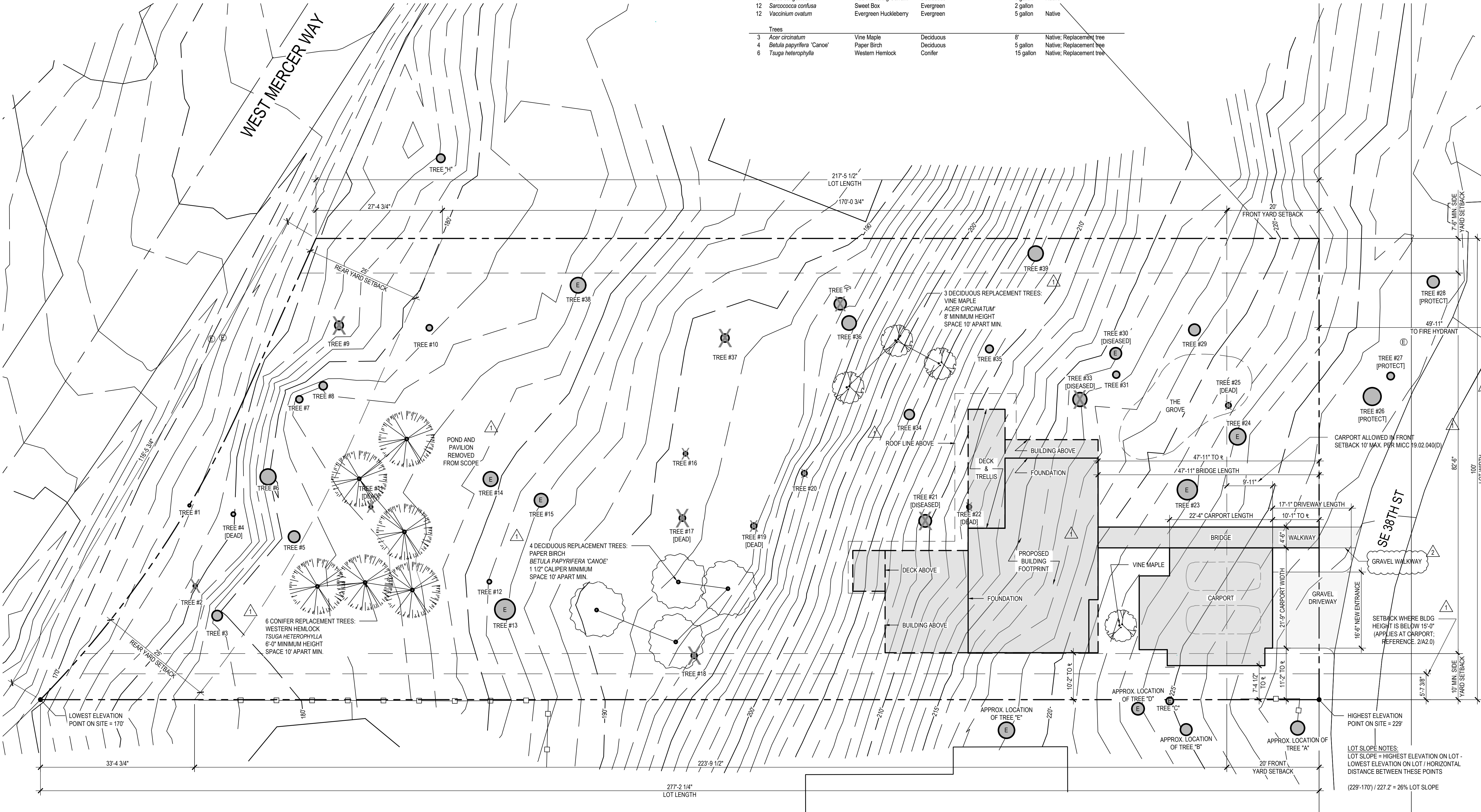
A0.1

Qty	Scientific Name	Common Name	Type	Size	Notes
Groundcovers					
20	<i>Arcostaphylos uva-ursi</i>	Kinnikinnick	Evergreen Groundcover (green roofs)	4"	DT
24	<i>Dicentra formosa</i>	Western Bleeding Heart	Deciduous Groundcover	4"	Native
20	<i>Epimedium rubrum</i>	Barrenwort	Evergreen Groundcover	1 gallon	
20	<i>Fragaria chiloensis</i>	Beach Strawberry	Evergreen Groundcover (green roofs)	4"	Native
20	<i>Sedum confusum</i>	Mexican Stonecrop	Evergreen Groundcover (green roofs)	4"	
Perennials					
12	<i>Helleborus orientalis</i>	Lenten Rose	Evergreen Perennial	1 gallon	
150	<i>Polystichum munitum</i>	Wester Sword Fern	Evergreen Fern	1 gallon	Native
9	<i>Carex oshimensis 'Everillo'</i>	Japanese Sedge	Evergreen Grass	1 gallon	
12	<i>Hakonechloa macra</i>	Japanese Forest Grass	Deciduous Grass	1 gallon	
Shrubs					
5	<i>Cornus sericea 'Midwinter Fire'</i>	Red-Twig Dogwood	Deciduous	5 gallon	Native
5	<i>Gaultheria shallon</i>	Salal	Evergreen	1 gallon	Native
10	<i>Prunus laurocerasus 'Mt Vernon'</i>	Low-Growing Laurel	Evergreen	2 gallon	
5	<i>Ribes sanguineum</i>	Red-Flowering Currant	Deciduous	5 gallon	Native
12	<i>Sarcococca confusa</i>	Sweet Box	Evergreen	2 gallon	
12	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	Evergreen	5 gallon	Native
Trees					
3	<i>Acer circinatum</i>	Vine Maple	Deciduous	8'	Native; Replacement tree
4	<i>Betula papyrifera 'Canoe'</i>	Paper Birch	Deciduous	5 gallon	Native; Replacement tree
6	<i>Tsuga heterophylla</i>	Western Hemlock	Conifer	15 gallon	Native; Replacement tree

TREE NOTES:

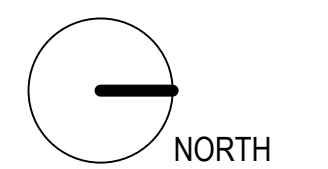
- EXISTING LARGE TREES #16 AND #18 TO BE REMOVED, SEE 02/12/21 ARBORIST REPORT.
- TREES' DIAMETER = 10"-24" AT DBH, TO BE REPLACED AT RATIO OF 2:1
- REQUIRED: 13 REPLACEMENT TREES PROVIDED: 13 REPLACEMENT TREES (SEE LANDSCAPE PLAN FOR PLANT LIST)

- CONIFEROUS REPLACEMENT TREES REQUIRED: 6' TALL MINIMUM PROVIDED: (1) 6' TALL
- DECIDUOUS REPLACEMENT TREES REQUIRED: 1 1/2" CALIPER MINIMUM PROVIDED: (3) 1 1/2" CALIPER
- REPLACEMENT TREES SHALL BE PLANTED BETWEEN 10/1 AND 4/1 FOLLOWING THE APPLICABLE TREE REMOVAL.
- E = EXCEPTIONAL TREE

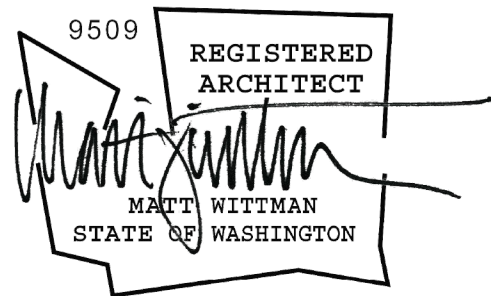


1 SITE PLAN

SCALE: 3/32"=1'-0"



LOT SLOPE NOTES:
LOT SLOPE = HIGHEST ELEVATION ON LOT -
LOWEST ELEVATION ON LOT / HORIZONTAL
DISTANCE BETWEEN THESE POINTS
(229'-170') / 227' 2" = 26% LOT SLOPE



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average grade
calculations

A0.3

AVERAGE BUILDING ELEVATION (MICC 19.02.020.E.4):

WEIGHTED MIDPOINT ELEVATIONS:

WALL A: 46.2' X 217.7' = 10,057.7
WALL B: 22.2' X 207.1' = 4,597.6
WALL C: 26.0' X 210.9' = 5,483.4
WALL D: 24.0' X 214.5' = 5,148.0
WALL E: 20.2' X 215.3' = 4,349.1
WALL F: 46.2' X 220.0' = 10,164.0

(1) WEIGHTED SUM OF
MIDPOINT ELEVATIONS = 39,799.8

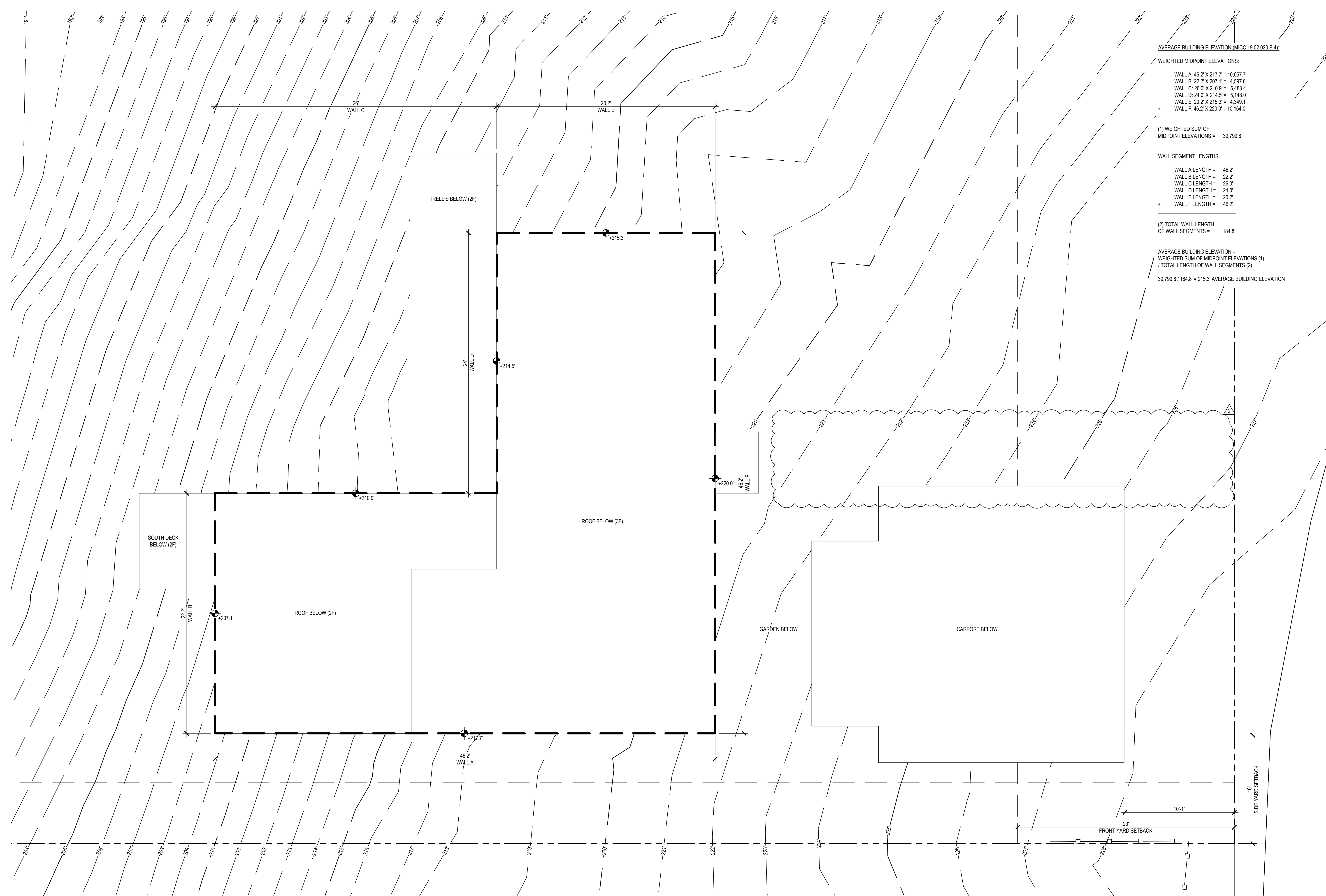
WALL SEGMENT LENGTHS:

WALL A LENGTH = 46.2'
WALL B LENGTH = 22.2'
WALL C LENGTH = 26.0'
WALL D LENGTH = 24.0'
WALL E LENGTH = 20.2'
WALL F LENGTH = 46.2'

(2) TOTAL WALL LENGTH
OF WALL SEGMENTS = 184.8'

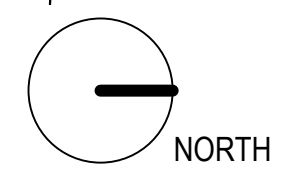
AVERAGE BUILDING ELEVATION =
WEIGHTED SUM OF MIDPOINT ELEVATIONS (1)
/ TOTAL LENGTH OF WALL SEGMENTS (2)

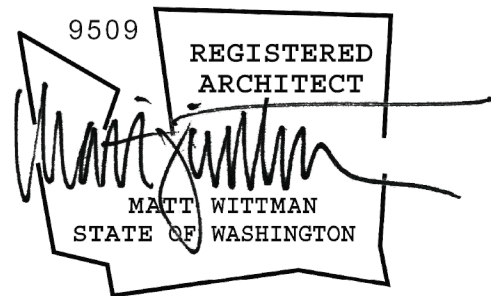
$39,799.8 / 184.8' = 215.3'$ AVERAGE BUILDING ELEVATION



1 AVERAGE GRADE CALCULATIONS

SCALE: 1/4"=1'-0"





ENERGY CODE NOTES:

WSEC R406.3 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS
EACH DWELLING UNIT IN A RESIDENTIAL BUILDING SHALL COMPLY WITH SUFFICIENT OPTIONS FROM TABLE R406.2 SO AS TO ACHIEVE THE FOLLOWING MINIMUM NUMBER OF ENERGY CREDITS:

MEDIUM DWELLING UNIT (1500-5000 SF CONDITIONED FLOOR AREA)
= 6.0 ENERGY CREDITS MINIMUM

PROJECT SHALL INCLUDE THE FOLLOWING ENERGY CREDIT OPTIONS:

R406.2 FUEL NORMALIZATION CREDITS, SYSTEM TYPE 4: HEATING SYSTEM BASED ON ELECTRIC RESISTANCE WITH A DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM IN ACCORDANCE WITH SECTION R403.7.1 INCLUDING THE EXCEPTION. (0.5 CREDITS)

OPTION 1.3 EFFICIENT BUILDING ENVELOPE: PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:

- VERTICAL FENESTRATION U = 0.28
- FLOOR R-38
- SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB
- BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB

(0.5 CREDITS)

OPTION 2.2 AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION: COMPLIANCE BASED ON SECTION R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS.

ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY IRC M1507.3 OR IMC 403.8 SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.65. (1.0 CREDITS)

OPTION 3.4 HIGH EFFICIENCY HVAC EQUIPMENT: DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM, ZONAL CONTROL: IN HOMES WHERE THE PRIMARY SPACE HEATING SYSTEM IS ZONAL ELECTRIC HEATING, A DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM WITH A MINIMUM HSPF OF 10.0 SHALL BE INSTALLED AND PROVIDE HEATING TO THE LARGEST ZONE OF THE HOUSING UNIT. (1.5 CREDITS)

OPTION 5.5 EFFICIENT WATER HEATING: THE WATER HEATING SYSTEM SHALL BE AN ELECTRIC HEAT PUMP WATER HEATER THAT MEETS THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION. (2.0 CREDITS)

OPTION 7 APPLIANCE PACKAGE: ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:

- DISHWASHER – ENERGY STAR RATED
- REFRIGERATOR (IF PROVIDED) – ENERGY STAR RATED
- WASHING MACHINE – ENERGY STAR RATED
- DRYER – ENERGY STAR RATED, VENTLESS DRYER WITH A MINIMUM CEF RATING OF 5.2

(0.5 CREDITS)

GENERAL PLAN NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ROOF PENETRATIONS TO BE WATERPROOFED PER APPROVED DETAIL AT ALL NEW WORK.
2. CODE REQUIRED CLEARANCES FOR ALL NEW WORK TO BE VERIFIED IN FIELD BY CONTRACTOR.
3. **IBC 915.2.1 CARBON MONOXIDE DETECTION:**
PROVIDE CARBON MONOXIDE ALARM OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM.
4. EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE.
5. **IRC R314.3 SMOKE DETECTORS:**
A SMOKE DETECTOR SHALL BE INSTALLED IN EACH HABITABLE ROOM, AND OUTSIDE EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM. A SMOKE DETECTOR SHALL BE CENTRALLY LOCATED ON EACH FLOOR. AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24". SMOKE DETECTORS TO BE 110V HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER IRC R314.

SD	SD/CM
☉ SMOKE DETECTOR	☉ SMOKE AND CARBON MONOXIDE DETECTOR
6. **VENTILATION SCHEDULE:**
MECHANICAL VENTILATING SYSTEMS IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST THREE FEET AWAY FROM ANY OPENING INTO THE BUILDING, PER WAC 51-51-1507 M1507.2.

☉, 100CFM ON SWITCH	☉, 50CFM ON SWITCH	☉, 100CFM RUN INTERMITTENTLY PER M1507.3.2.5
---------------------	--------------------	--
7. **VENTILATION:**
VENTILATION AIR IS PROVIDED TO EACH HABITABLE SPACE BY USE OF CONTINUOUS DUCTLESS VENTS WITH REGENERATIVE HEAT RECOVERY CORES.
8. **VENTILATION NOTES:**
SEE ROOF ASSEMBLY DETAILS FOR MORE INFORMATION.
9. AIR LEAKAGE SHALL BE TESTED PER WSEC R402.4.1 AND R402.4.1.1. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). PROVIDE A WRITTEN REPORT OF THE TEST RESULTS, SIGNED BY THE TESTING PARTY TO THE BUILDING INSPECTOR, PRIOR TO APPROVED FINAL INSPECTION PER WSEC R402.4.1.2.
10. A MINIMUM OF 75% OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
11. **FIRE SPRINKLERS:**
PROVIDE NFPA 13R INTERCONNECTED SPRINKLERS WITH EXTERIOR BELL THAT SHALL BE ACTIVATED UPON WATER FLOW. INTERIOR SMOKE DETECTORS OR SOUNDERS MUST ALSO BE INTERCONNECTED WITH THE WATER FLOW SWITCH.
12. NFPA 72 CHAPTER 29 MONITORED FIRE ALARM SYSTEM. THIS SYSTEM SHALL BE LOW VOLTAGE.

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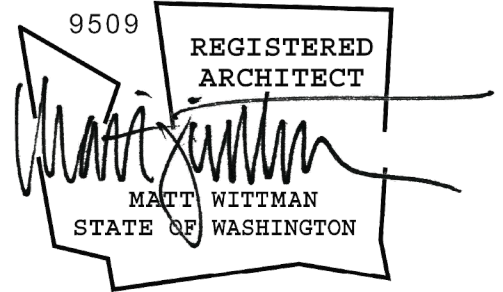
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general plan notes

A0.9



BASEMENT GROSS FLOOR AREA CALCULATIONS

INCLUDED AREA = 62 SF (ABOVE GRADE)
EXCLUDED AREA = 883 SF (BELOW GRADE)

FLOORING LEGEND

SEE FINISH SCHEDULE & SPECS

- ① HARDWOOD
- ② TILE WITH IN-FLOOR HEAT MAT
- ③ CONCRETE

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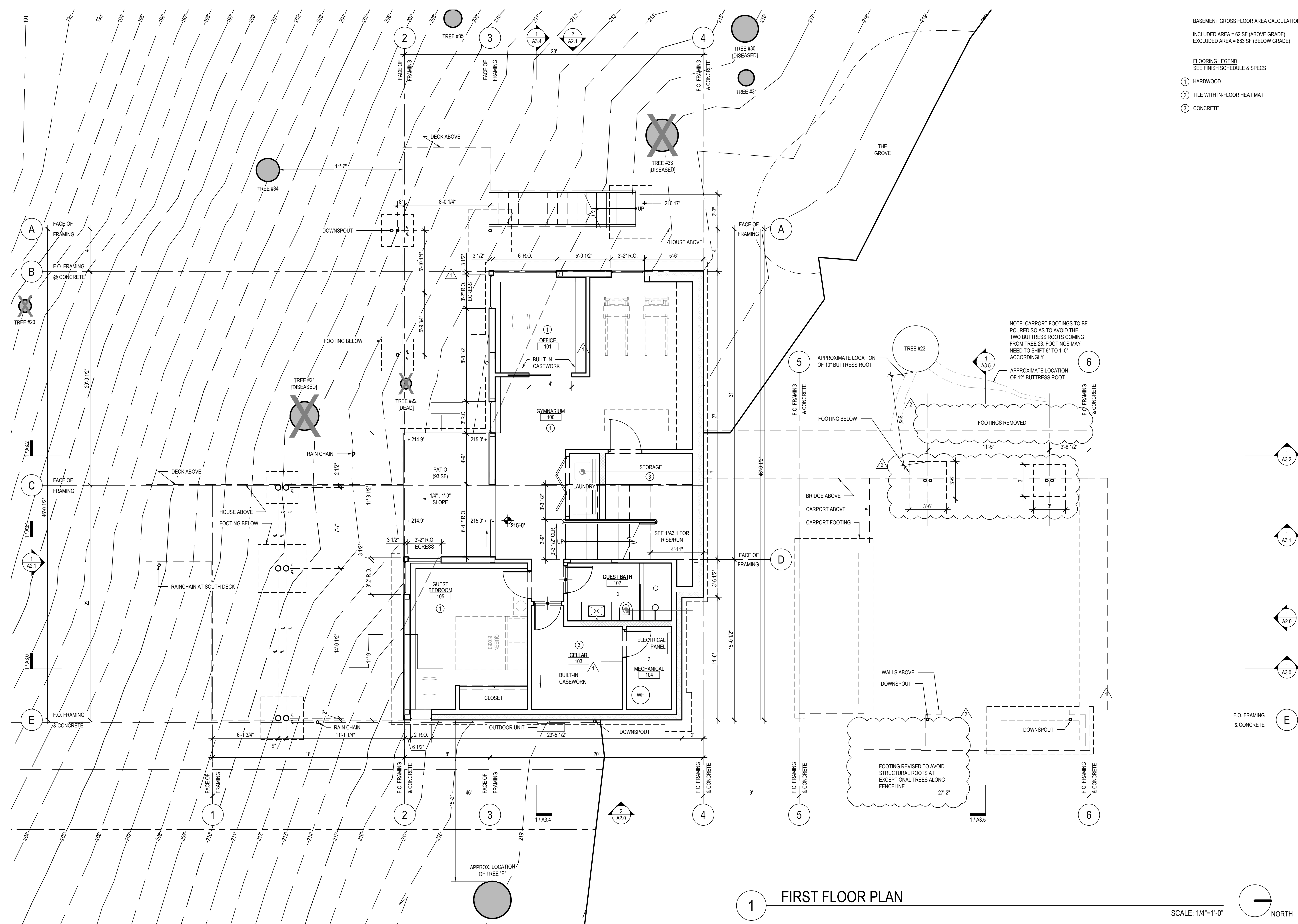
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floor plans

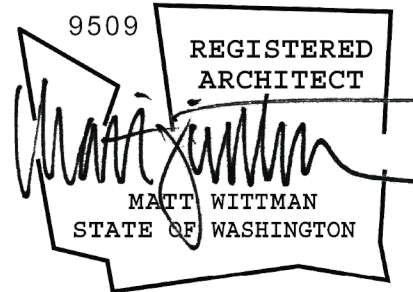
A1.0



1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"





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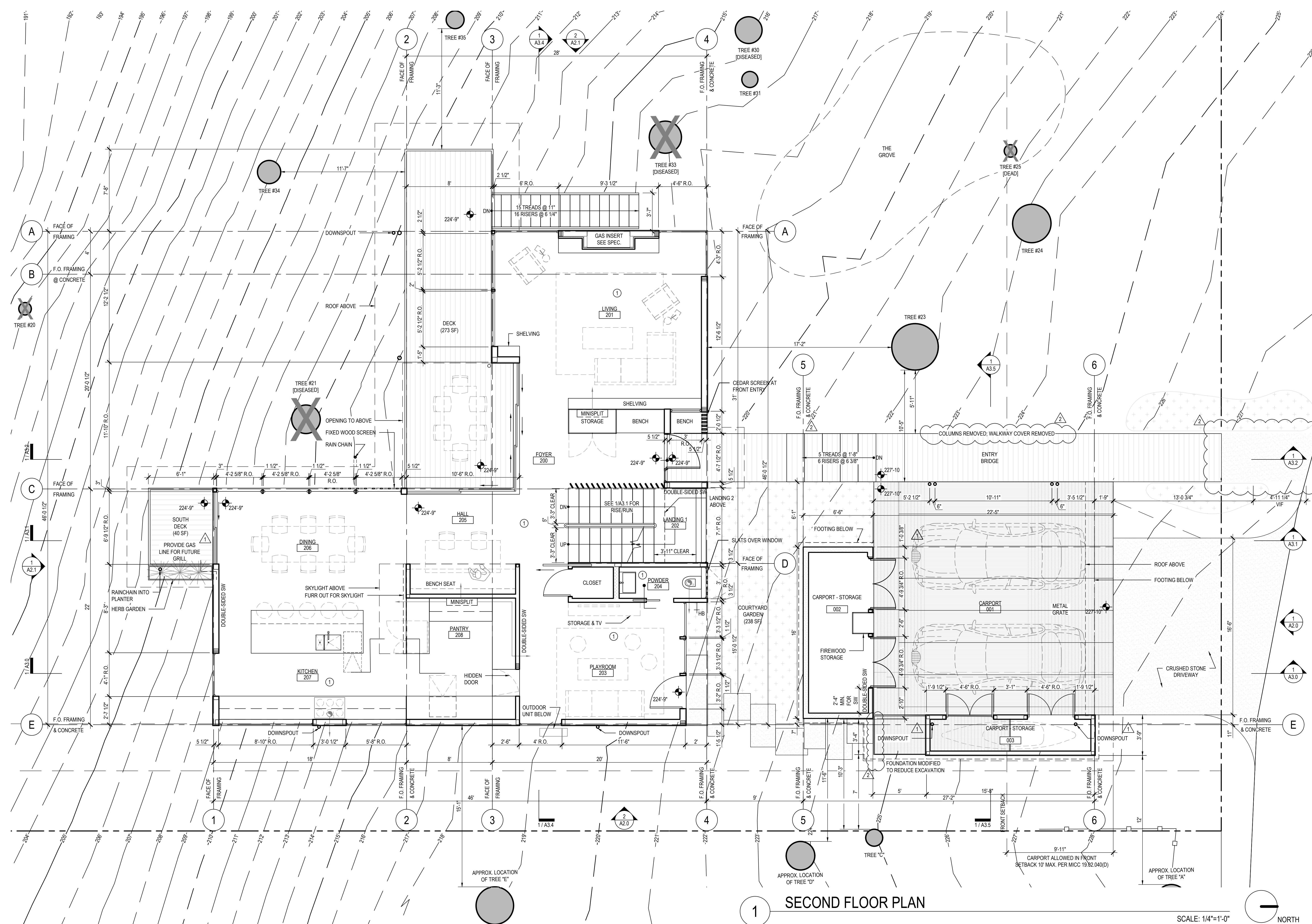
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floor plans

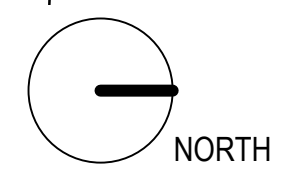
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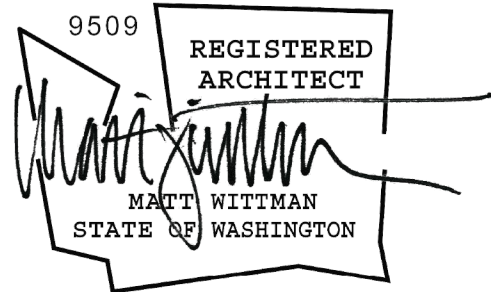
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SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"





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floor plans

A1.2

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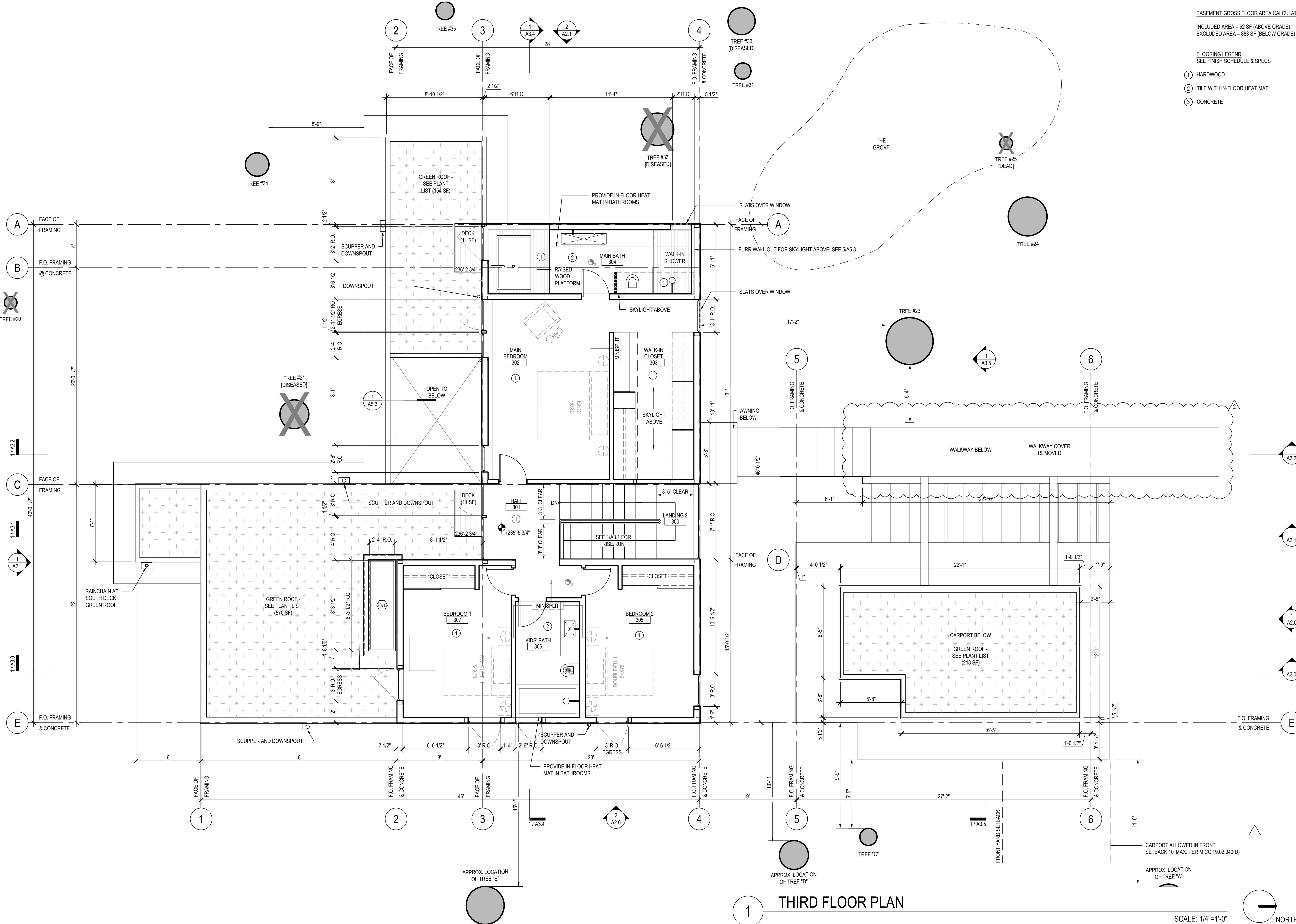
BASEMENT GROSS FLOOR AREA CALCULATIONS

INCLUDED AREA = 62 SF (ABOVE GRADE)
EXCLUDED AREA = 883 SF (BELOW GRADE)

FLOORING LEGEND

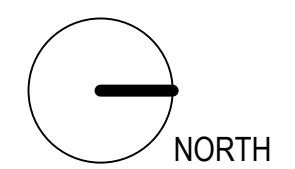
SEE FINISH SCHEDULE & SPECS

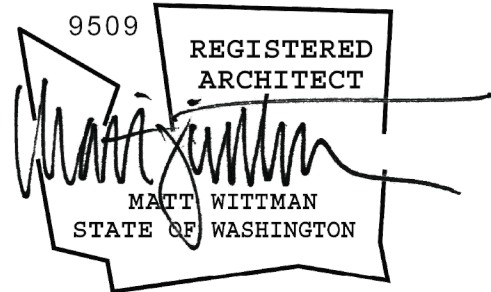
- 1 HARDWOOD
- 2 TILE WITH IN-FLOOR HEAT MAT
- 3 CONCRETE



THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"





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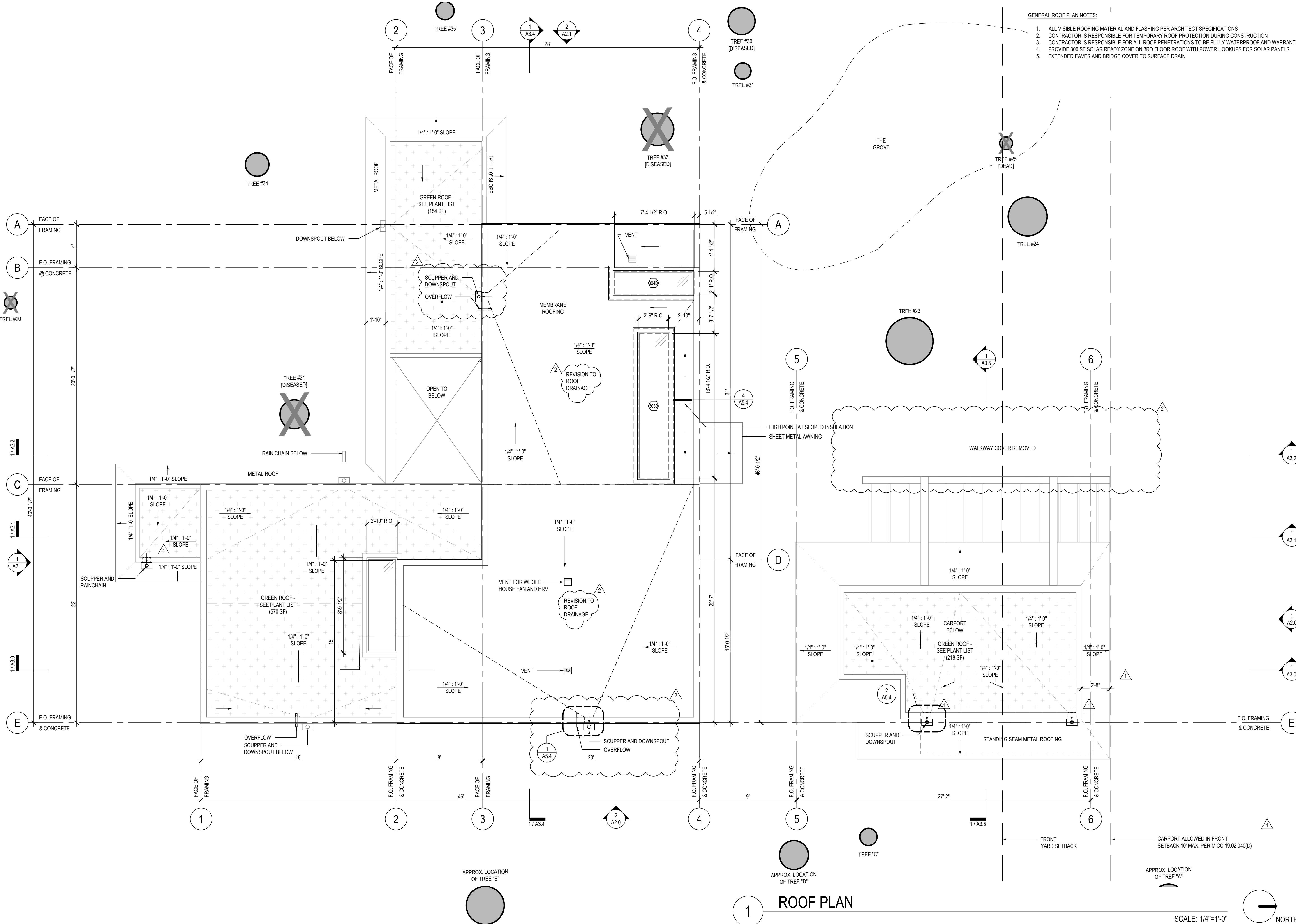
roof plan

A1.3

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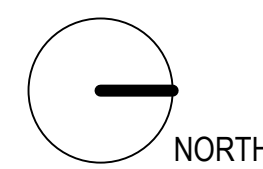
GENERAL ROOF PLAN NOTES:

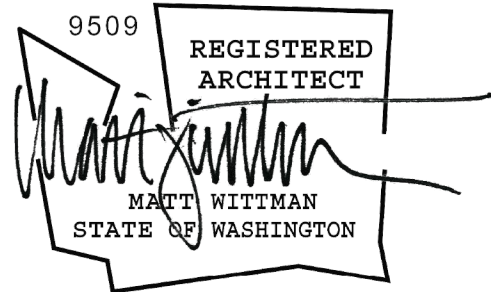
1. ALL VISIBLE ROOFING MATERIAL AND FLASHING PER ARCHITECT SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ROOF PROTECTION DURING CONSTRUCTION
3. CONTRACTOR IS RESPONSIBLE FOR ALL ROOF PENETRATIONS TO BE FULLY WATERPROOF AND WARRANTED
4. PROVIDE 300 SF SOLAR READY ZONE ON 3RD FLOOR ROOF WITH POWER HOOKUPS FOR SOLAR PANELS.
5. EXTENDED EAVES AND BRIDGE COVER TO SURFACE DRAIN



1 ROOF PLAN

SCALE: 1/4"=1'-0"





BASEMENT GROSS FLOOR AREA CALCULATIONS

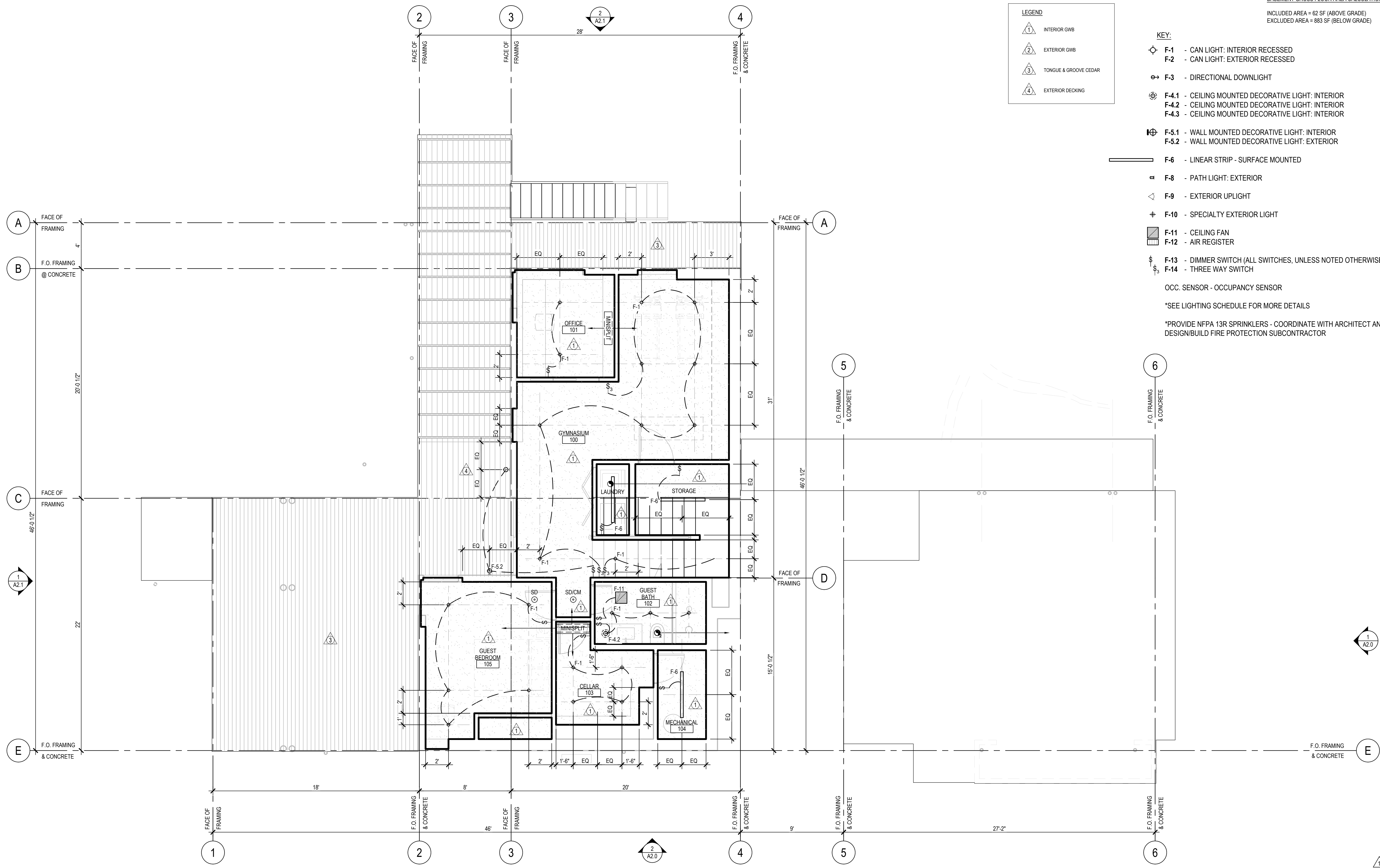
INCLUDED AREA = 62 SF (ABOVE GRADE)
EXCLUDED AREA = 883 SF (BELOW GRADE)

LEGEND

- INTERIOR GWB
- EXTERIOR GWB
- TONGUE & GROOVE CEDAR
- EXTERIOR DECKING

KEY:

- F-1 - CAN LIGHT: INTERIOR RECESSED
 - F-2 - CAN LIGHT: EXTERIOR RECESSED
 - F-3 - DIRECTIONAL DOWNLIGHT
 - F-4.1 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-4.2 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-4.3 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-5.1 - WALL MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-5.2 - WALL MOUNTED DECORATIVE LIGHT: EXTERIOR
 - F-6 - LINEAR STRIP - SURFACE MOUNTED
 - F-8 - PATH LIGHT: EXTERIOR
 - F-9 - EXTERIOR UPLIGHT
 - F-10 - SPECIALTY EXTERIOR LIGHT
 - F-11 - CEILING FAN
 - F-12 - AIR REGISTER
 - F-13 - DIMMER SWITCH (ALL SWITCHES, UNLESS NOTED OTHERWISE)
 - F-14 - THREE WAY SWITCH
 - OCC. SENSOR - OCCUPANCY SENSOR
- *SEE LIGHTING SCHEDULE FOR MORE DETAILS
- *PROVIDE NFPA 13R SPRINKLERS - COORDINATE WITH ARCHITECT AND DESIGN/BUILD FIRE PROTECTION SUBCONTRACTOR



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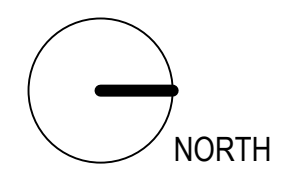
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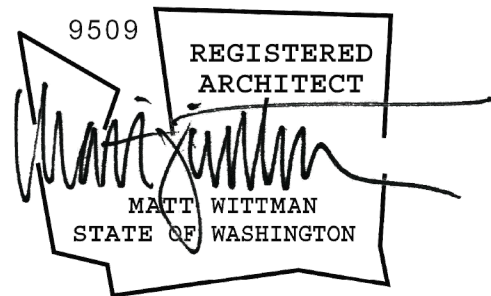
reflected ceiling plans

A1.4

1 FIRST FLOOR - REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"





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reflected ceiling plans

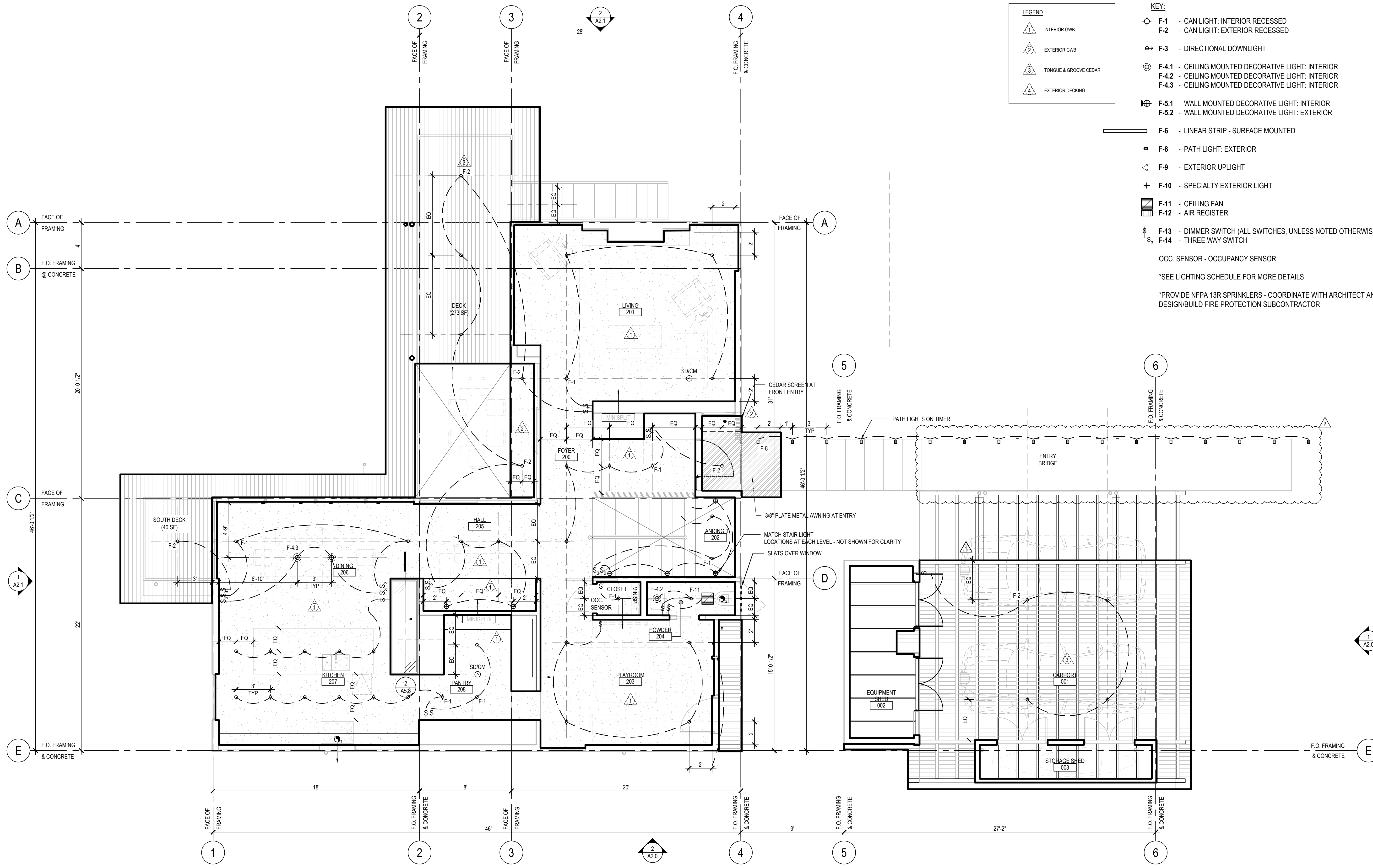
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LEGEND

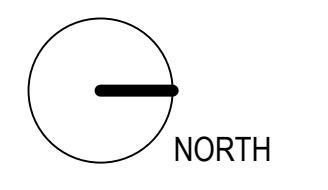
	INTERIOR GWB
	EXTERIOR GWB
	TONGUE & GROOVE CEDAR
	EXTERIOR DECKING

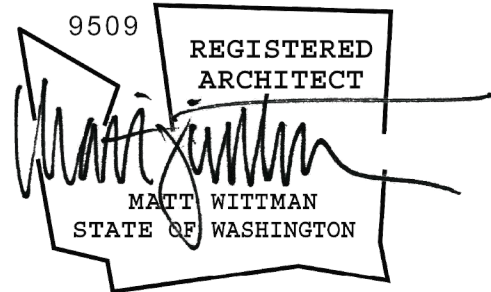
- KEY:**
- F-1 - CAN LIGHT: INTERIOR RECESSED
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 - F-4.2 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-4.3 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-5.1 - WALL MOUNTED DECORATIVE LIGHT: INTERIOR
 - F-5.2 - WALL MOUNTED DECORATIVE LIGHT: EXTERIOR
 - F-6 - LINEAR STRIP - SURFACE MOUNTED
 - F-8 - PATH LIGHT: EXTERIOR
 - F-9 - EXTERIOR UPLIGHT
 - F-10 - SPECIALTY EXTERIOR LIGHT
 - F-11 - CEILING FAN
 - F-12 - AIR REGISTER
 - F-13 - DIMMER SWITCH (ALL SWITCHES, UNLESS NOTED OTHERWISE)
 - F-14 - THREE WAY SWITCH
- OCC. SENSOR - OCCUPANCY SENSOR
- *SEE LIGHTING SCHEDULE FOR MORE DETAILS
- *PROVIDE NFPA 13R SPRINKLERS - COORDINATE WITH ARCHITECT AND DESIGN/BUILD FIRE PROTECTION SUBCONTRACTOR



1 SECOND FLOOR - REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"





2014

**Mercer
Grove**

7345 SE 38TH ST
MERCER ISLAND, WA 98040

TPN #3623500037

CAR2 #CAO21-006
BUILDING PERMIT #2110-193

BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

DRAWN BY: HC
CHECKED BY: MW

reflected ceiling plans

A1.6

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LEGEND

	INTERIOR GWB
	EXTERIOR GWB
	TONGUE & GROOVE CEDAR
	EXTERIOR DECKING

KEY:

- F-1 - CAN LIGHT: INTERIOR RECESSED
- F-2 - CAN LIGHT: EXTERIOR RECESSED

- F-3 - DIRECTIONAL DOWNLIGHT

- F-4.1 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
- F-4.2 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR
- F-4.3 - CEILING MOUNTED DECORATIVE LIGHT: INTERIOR

- F-5.1 - WALL MOUNTED DECORATIVE LIGHT: INTERIOR
- F-5.2 - WALL MOUNTED DECORATIVE LIGHT: EXTERIOR

- F-6 - LINEAR STRIP - SURFACE MOUNTED

- F-8 - PATH LIGHT: EXTERIOR

- F-9 - EXTERIOR UPLIGHT

- F-10 - SPECIALTY EXTERIOR LIGHT

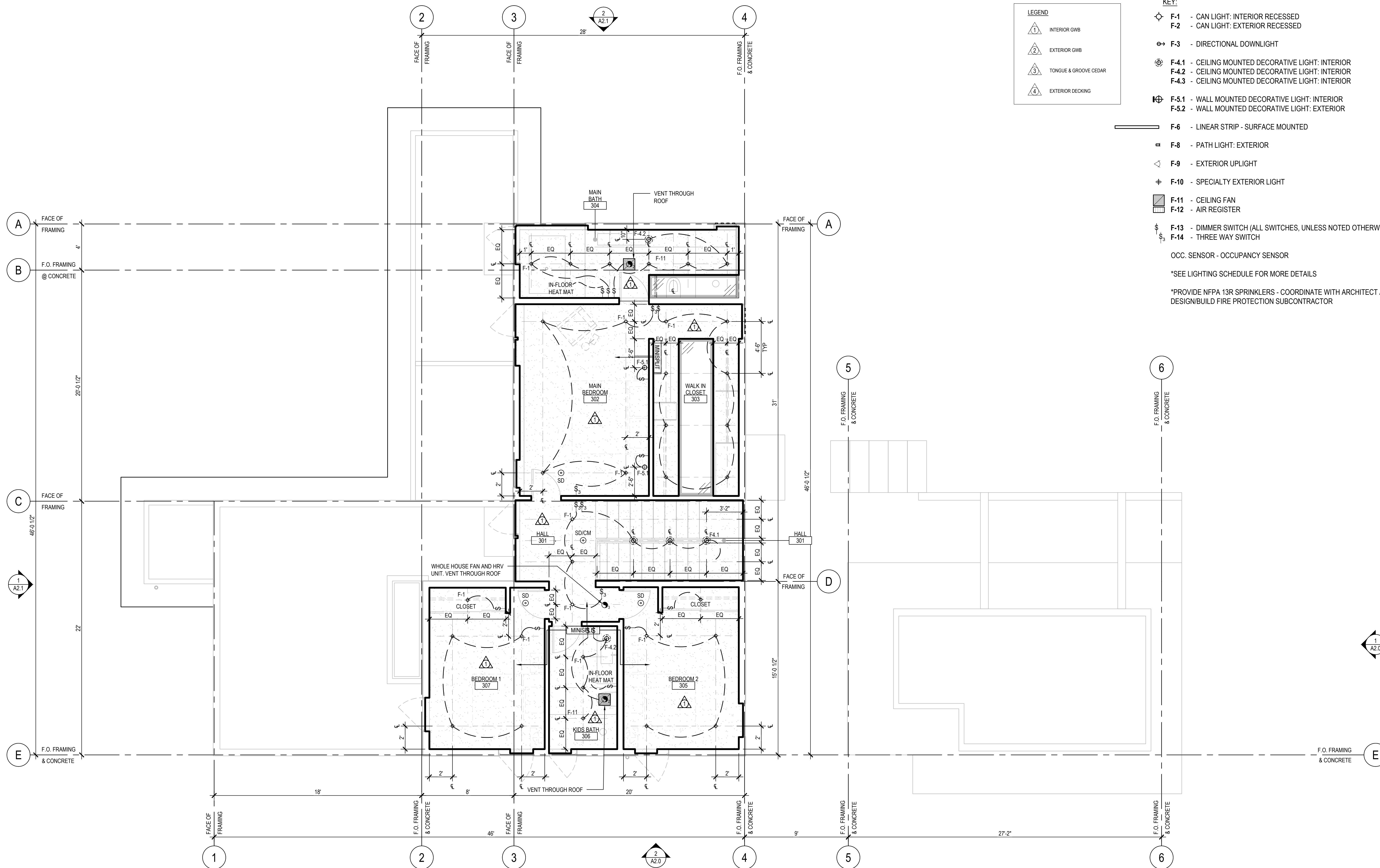
- F-11 - CEILING FAN
- F-12 - AIR REGISTER

- F-13 - DIMMER SWITCH (ALL SWITCHES, UNLESS NOTED OTHERWISE)
- F-14 - THREE WAY SWITCH

OCC. SENSOR - OCCUPANCY SENSOR

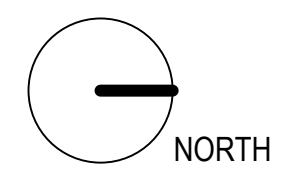
*SEE LIGHTING SCHEDULE FOR MORE DETAILS

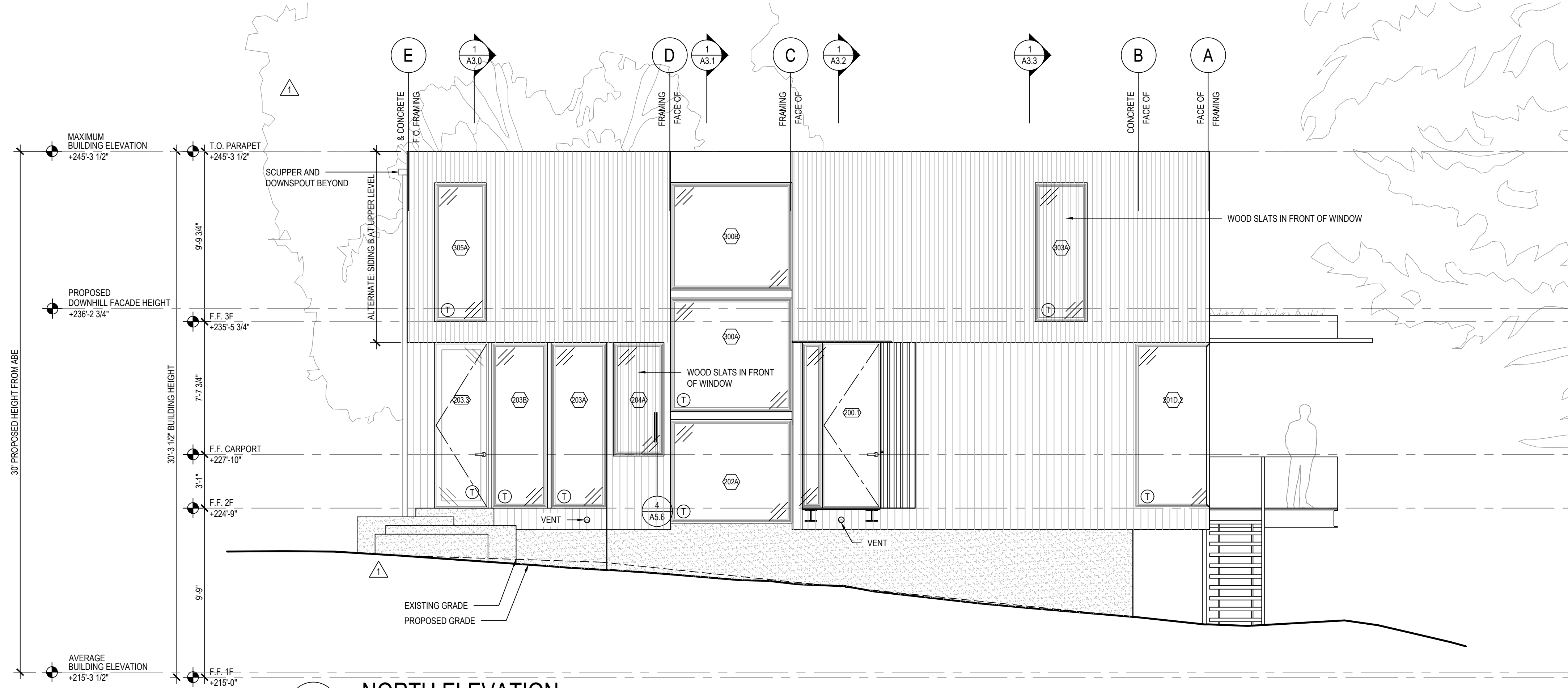
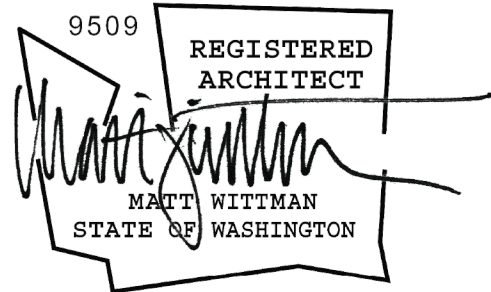
*PROVIDE NFPA 13R SPRINKLERS - COORDINATE WITH ARCHITECT AND DESIGN/BUILD FIRE PROTECTION SUBCONTRACTOR



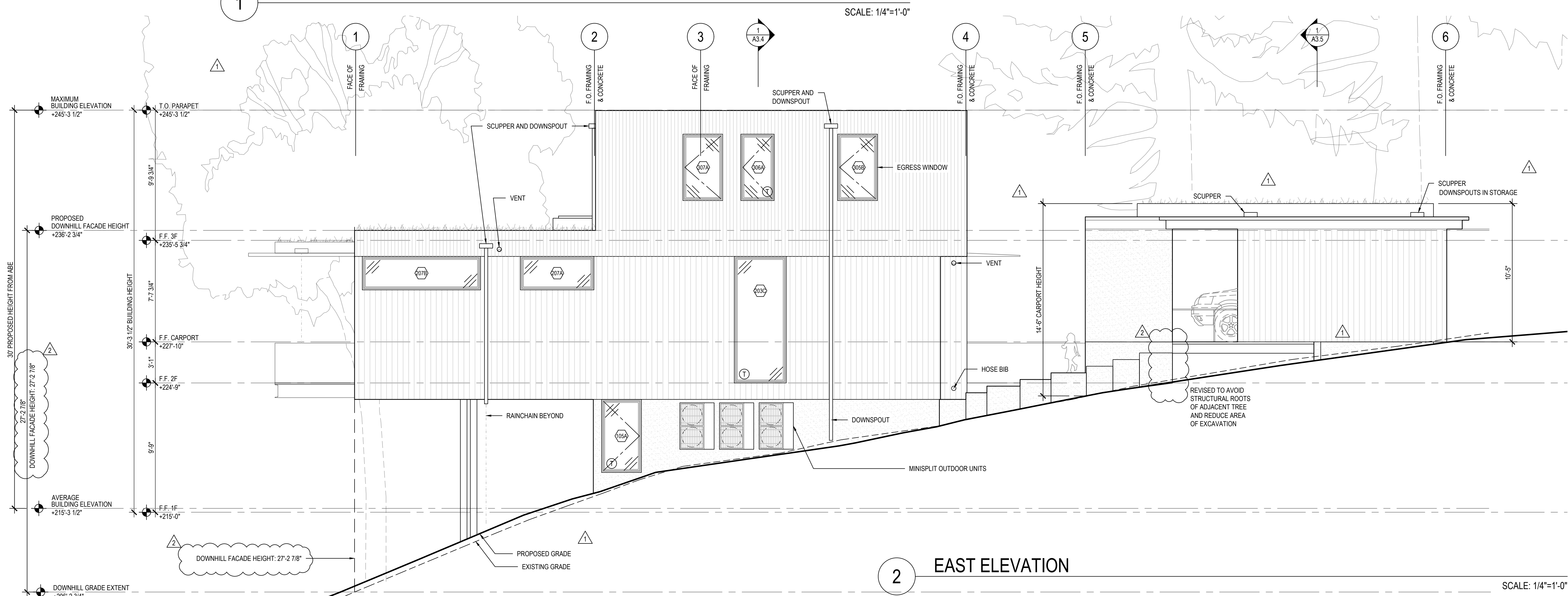
1 THIRD FLOOR - REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"





1 NORTH ELEVATION



2 EAST ELEVATION

2014

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Grove**

7345 SE 38TH ST
MERCER ISLAND, WA 98040

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BUILDING PERMIT
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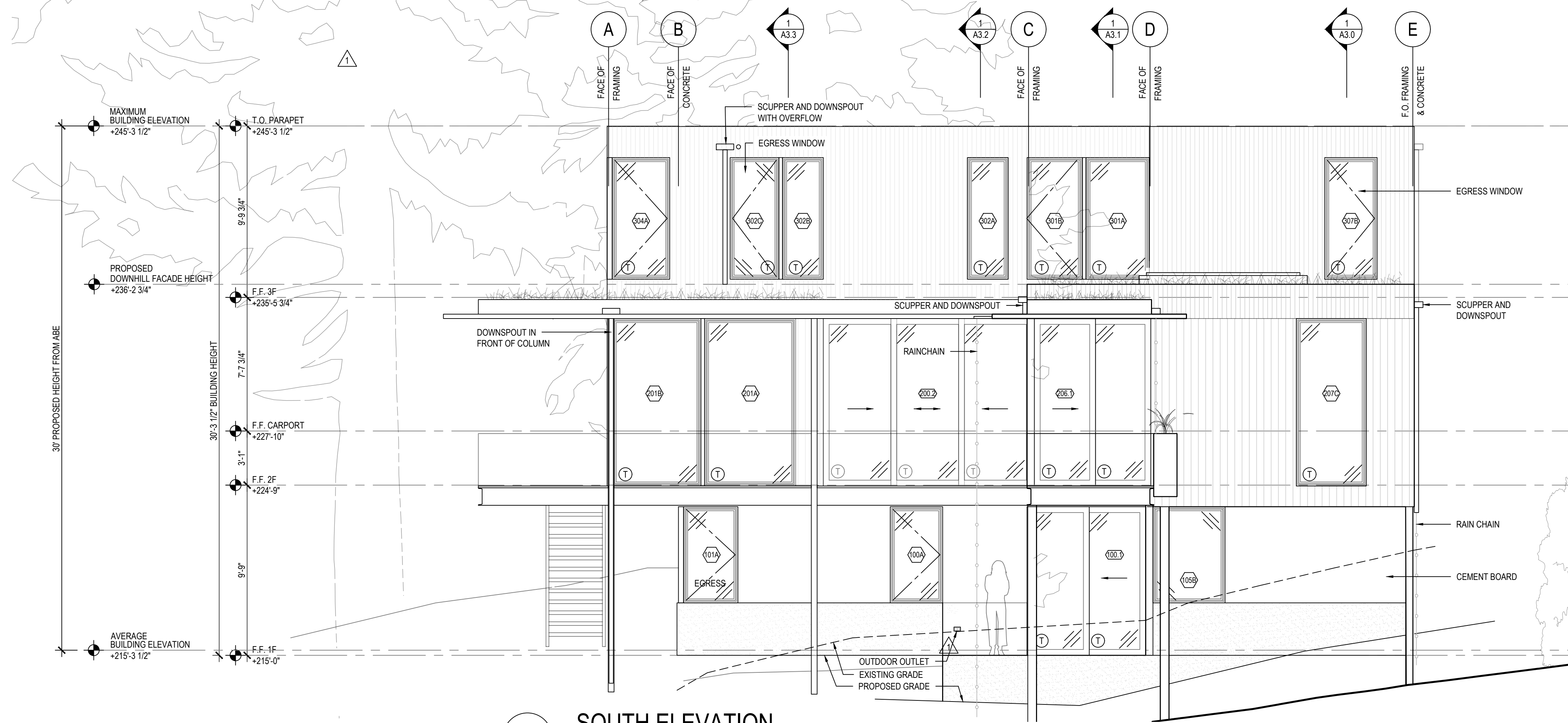
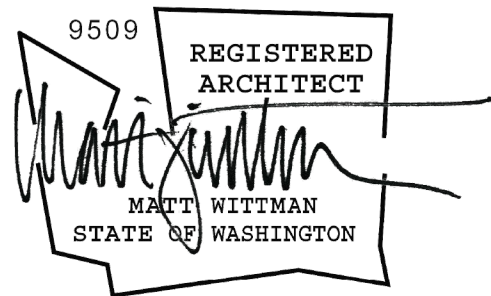
REVISIONS

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
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DRAWN BY: HC
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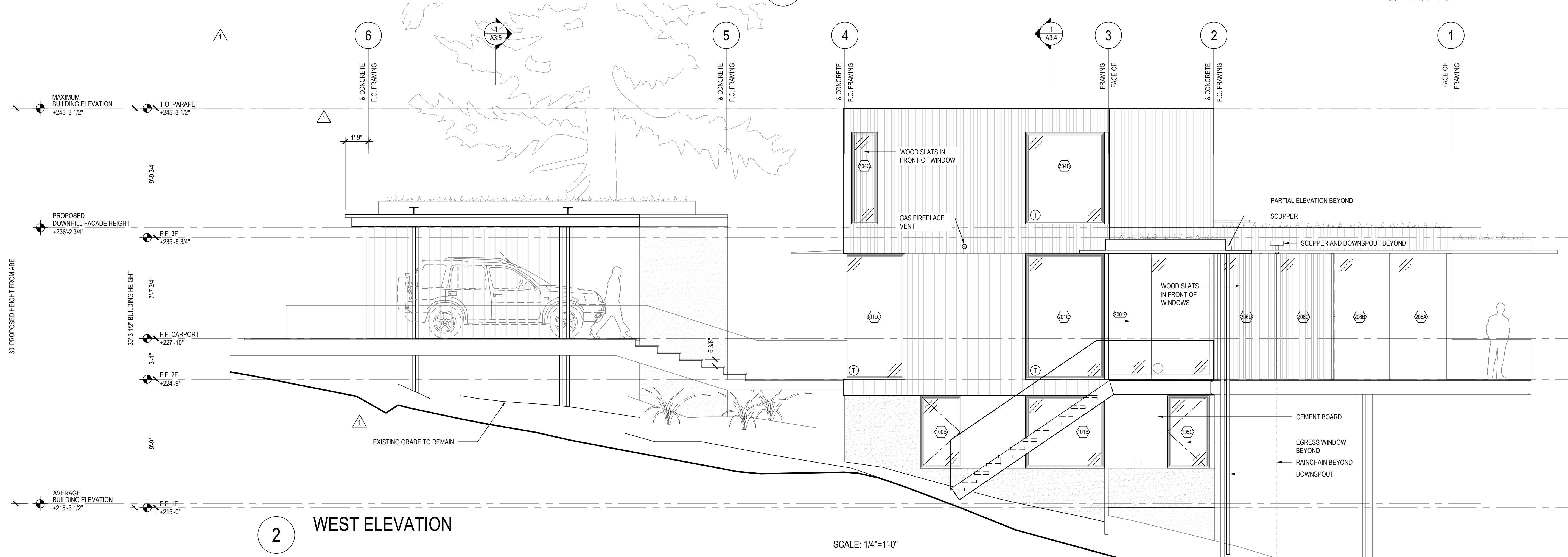
exterior elevations

A2.0



1 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



2 WEST ELEVATION

SCALE: 1/4"=1'-0"

2014

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Grove**

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MERCER ISLAND, WA 98040

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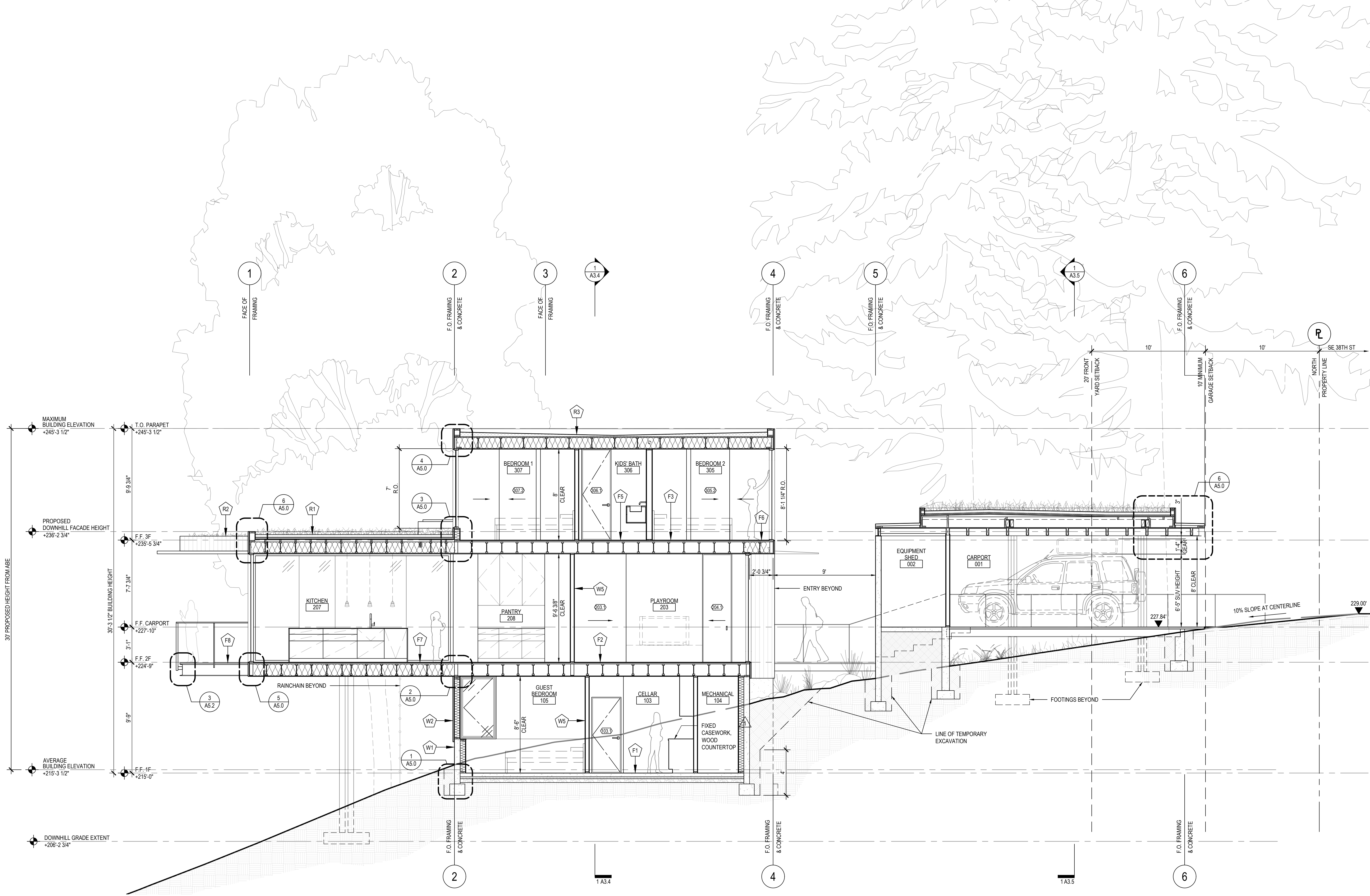
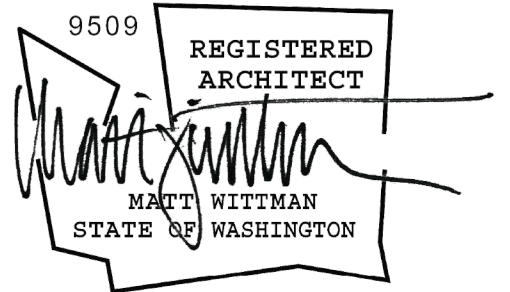
BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

DRAWN BY: HC
CHECKED BY: MW

exterior elevations

A2.1



2014
**Mercer
Grove**

7345 SE 38TH ST
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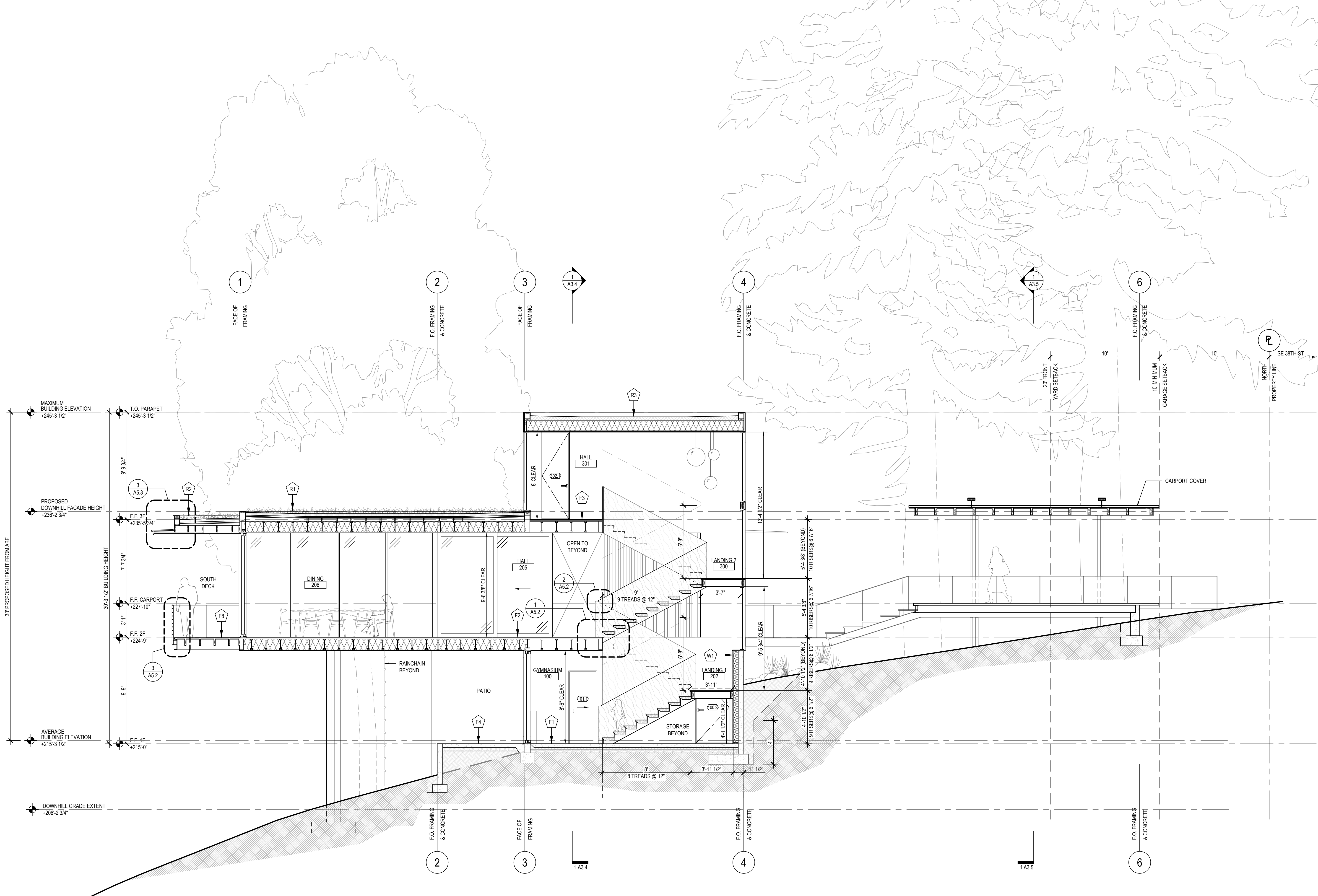
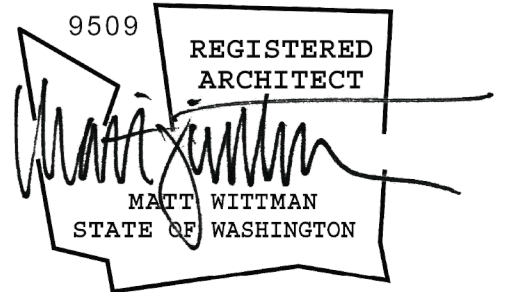
DRAWN BY: HC
CHECKED BY: MW

sections

A3.0

1 NORTH-SOUTH SECTION 1 - LOOKING WEST

SCALE: 1/4"=1'-0"



2014

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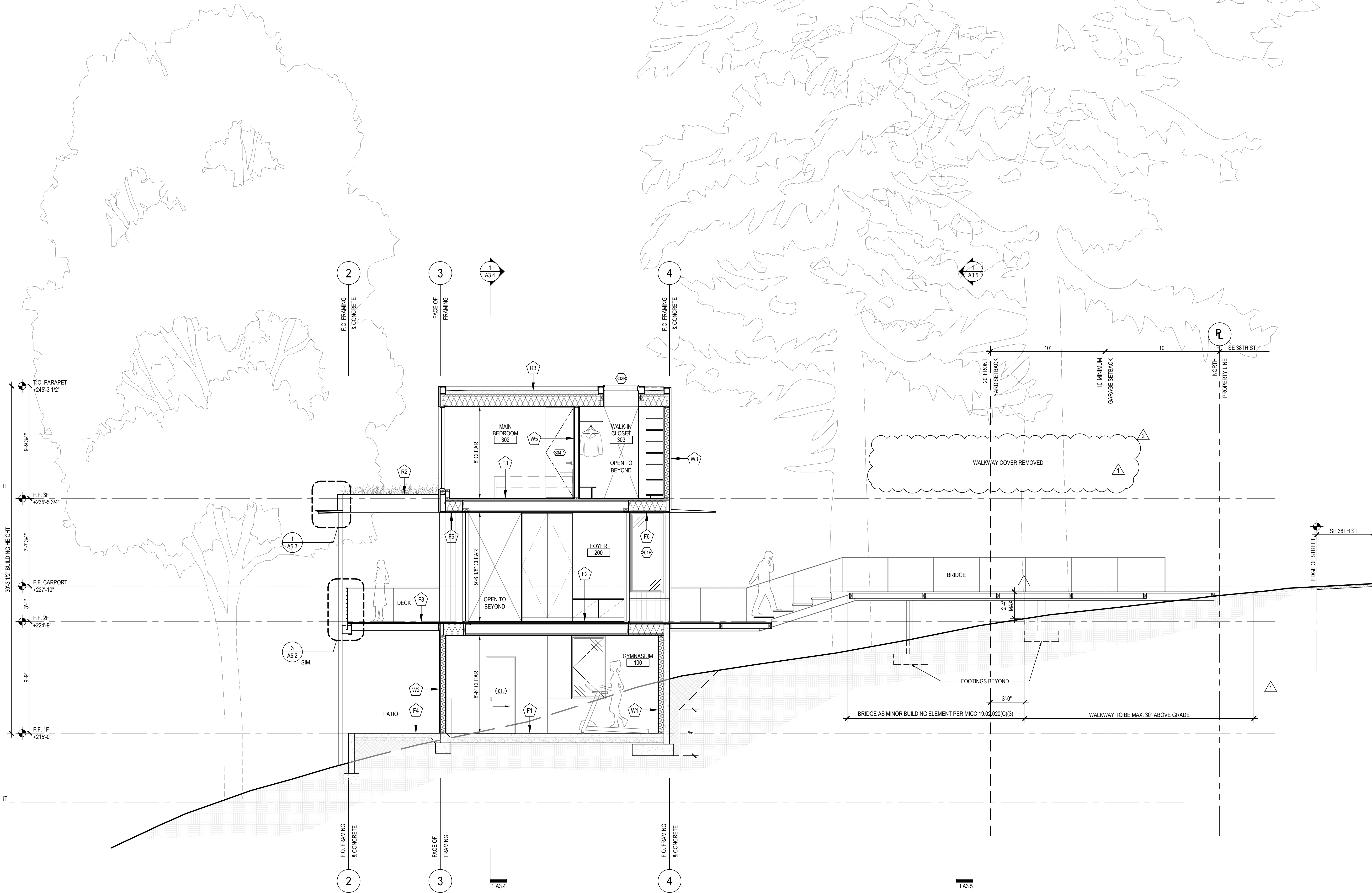
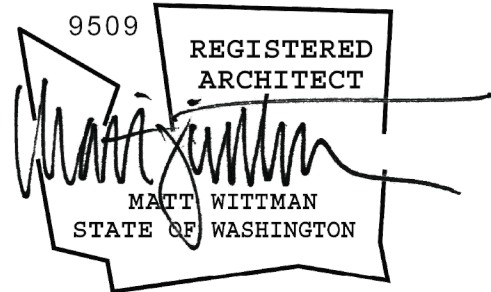
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CHECKED BY: MW

sections

A3.1

1 NORTH-SOUTH SECTION 2 - LOOKING WEST

SCALE: 1/4"=1'-0"



2014
**Mercer
Grove**

7345 SE 38TH ST
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TPN #3623500037

CAR2 #CAO21-006
BUILDING PERMIT #2110-193

BUILDING PERMIT
ISSUE DATE: 8/30/2022

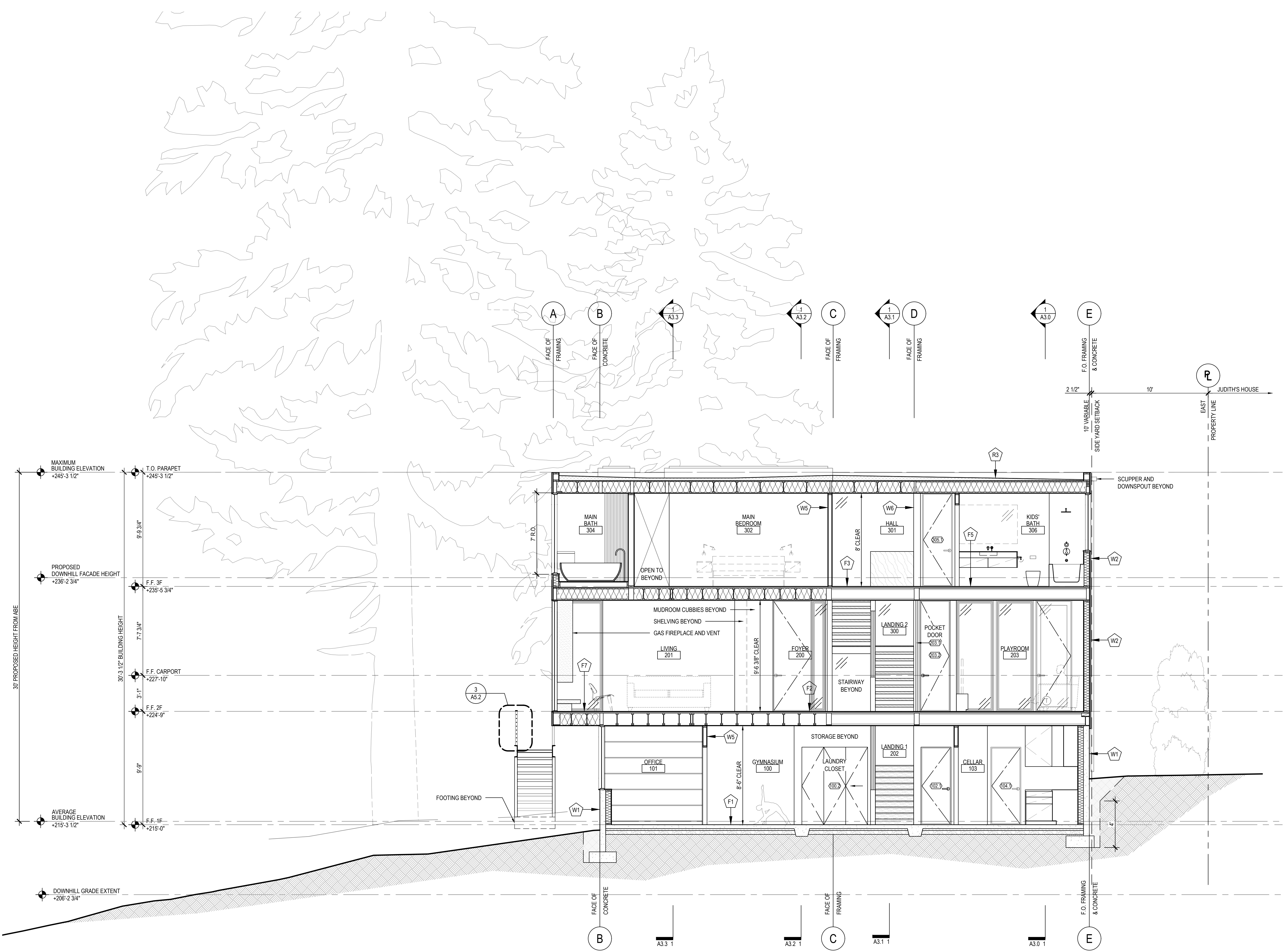
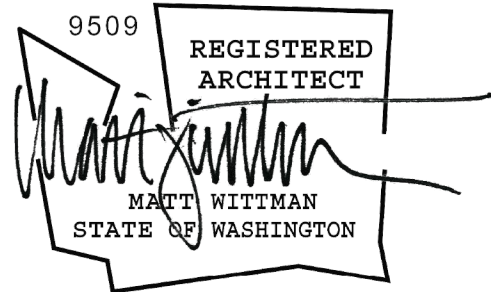
NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

DRAWN BY: HC
CHECKED BY: MW

sections

A3.2

1 NORTH-SOUTH SECTION 3 - LOOKING WEST



2014

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Grove**

7345 SE 38TH ST
MERCER ISLAND, WA 98040

TPN #3623500037

CAR2 #CAO21-006
BUILDING PERMIT #2110-193

BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

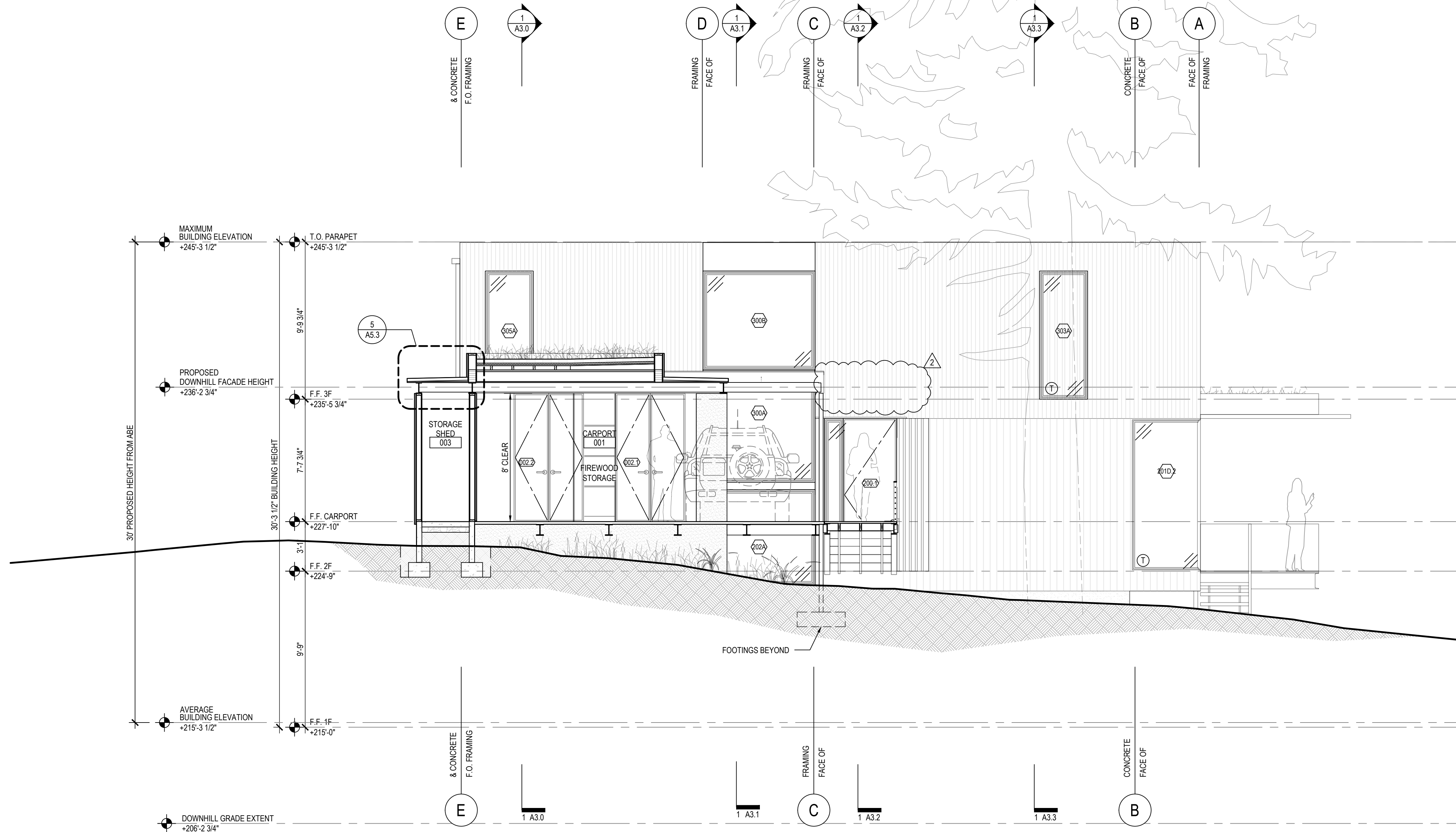
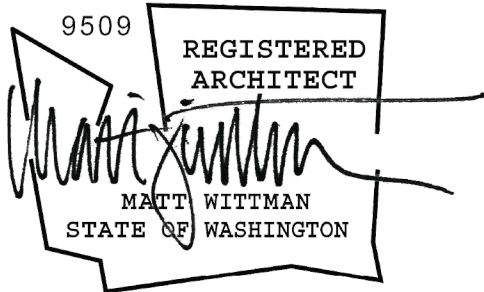
DRAWN BY: HC
CHECKED BY: MW

sections

A3.4

1 EAST-WEST SECTION 1 - LOOKING NORTH

SCALE: 1/4"=1'-0"



1 EAST-WEST SECTION 2 - LOOKING SOUTH

SCALE: 1/4"=1'-0"

2014

**Mercer
Grove**

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CAR2 #CAO21-006
BUILDING PERMIT #2110-193

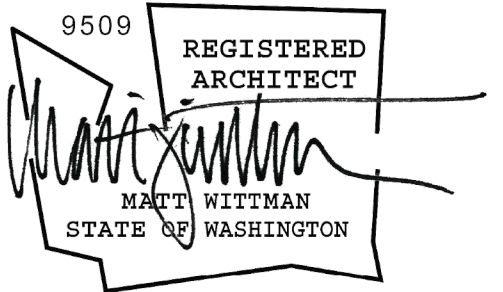
BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

DRAWN BY: HC
CHECKED BY: MW

sections

A3.5



REVISIONS		
NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

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CHECKED BY: MW

window, door, &
hardware schedules

A6.0

MERCER GROVE DOOR AND WINDOW SCHEDULE
WITTMAN ESTES

GLAZING SCHEDULE

ROOM	ELEVATION TAG	WIDTH (R.O.)	INCHES	HEIGHT (R.O.)	INCHES	FRAME WIDTH (INCHES)	FRAME HEIGHT (INCHES)	FRAME TYPE	TYPE	AREA S.F.	U-VALUE	UxA	NOTES
GYMNASIUM	100A	3'-0"	36	5'-6"	66	35.25	65.25	WOOD CLAD	RH CASEMENT	16.50	0.28	4.62	
GYMNASIUM	100B	3'-2"	38	5'-6"	66	37.25	65.25	WOOD CLAD	RH CASEMENT	17.42	0.28	4.88	
OFFICE	101A	3'-2"	38	5'-6"	66	37.25	65.25	WOOD CLAD	RH CASEMENT	17.42	0.28	4.88	EGRESS
OFFICE	101B	6'-0"	72	5'-6"	66	71.25	65.25	WOOD CLAD	FIXED	33.00	0.28	9.24	
GUEST BEDROOM	105A	3'-0"	36	5'-6"	66	35.25	65.25	WOOD CLAD	LH CASEMENT	16.50	0.28	4.62	
GUEST BEDROOM	105B	3'-2"	38	5'-6"	66	37.25	65.25	WOOD CLAD	FIXED	17.42	0.28	4.88	
GUEST BEDROOM	105C	3'-2"	38	5'-6"	66	37.25	65.25	WOOD CLAD	LH CASEMENT	17.42	0.28	4.88	EGRESS
LIVING	201A	9'-2.5"	82.5	9'-7"	115	81.75	114.25	WOOD CLAD	FIXED	49.91	0.28	13.98	TEMPERED
LIVING	201B	9'-2.5"	82.5	9'-7"	115	81.75	114.25	WOOD CLAD	FIXED	49.91	0.28	13.98	TEMPERED
LIVING	201C	6'-0"	72	9'-7"	115	71.25	114.25	WOOD CLAD	FIXED	57.50	0.28	16.10	TEMPERED
LIVING	201D.1	4'-6"	54	9'-7"	115	53.25	114.25	WOOD CLAD	CORNER	43.13	0.28	12.08	TEMPERED
LIVING	201D.2	4'-3"	51	9'-7"	115	50.25	114.25	WOOD CLAD	CORNER	40.73	0.28	11.40	TEMPERED
LIVING	201E	3'-0"	36	7'-2"	86	35.25	85.25	WOOD CLAD	FIXED	21.50	0.28	6.02	NARROW REED
LANDING 1	202A	7'-1"	85	5'-10.75"	70.75	84.25	70	WOOD CLAD	FIXED	41.76	0.28	11.69	TEMPERED
PLAYROOM	203A	3'-3.5"	39.5	9'-7"	115	38.75	114.25	WOOD CLAD	FIXED	31.55	0.28	8.83	TEMPERED
PLAYROOM	203B	3'-3.5"	39.5	9'-7"	115	38.75	114.25	WOOD CLAD	FIXED	31.55	0.28	8.83	TEMPERED
PLAYROOM	203C	4'-0"	48	9'-7"	115	47.25	114.25	WOOD CLAD	FIXED	38.33	0.28	10.73	TEMPERED
POWDER	204A	3'-0"	36	6'-8"	80	35.25	79.25	WOOD CLAD	FIXED	20.00	0.28	5.60	WOOD SLAT SCREEN, FIXED
DINING	206A	4'-2.5"	50.5	9'-7"	115	49.75	114.25	WOOD CLAD	FIXED	40.33	0.28	11.29	TEMPERED
DINING	206B	4'-2.5"	50.5	9'-7"	115	49.75	114.25	WOOD CLAD	FIXED	40.33	0.28	11.29	TEMPERED
DINING	206C	4'-2.5"	50.5	9'-7"	115	49.75	114.25	WOOD CLAD	FIXED	40.33	0.28	11.29	TEMPERED
DINING	206D	4'-2.5"	50.5	9'-7"	115	49.75	114.25	WOOD CLAD	FIXED	40.33	0.28	11.29	TEMPERED
DINING	206E	not used	not used	not used	not used	not used	not used		not used	not used	not used	not used	
KITCHEN	207A	5'-8"	68	2'-8"	32	67.25	31.25	WOOD CLAD	FIXED CLERESTORY	15.11	0.28	4.23	
KITCHEN	207B	8'-10"	106	2'-8"	32	105.25	31.25	WOOD CLAD	FIXED CLERESTORY	23.56	0.28	6.60	
KITCHEN	207C	4'-1"	49	9'-7"	115	48.25	114.25	WOOD CLAD	FIXED	39.13	0.28	10.96	TEMPERED
KITCHEN	207D	2'-6"	30	8'-5.5"	101.5	29.25	100.75	ALUMINUM	FIXED SKYLIGHT	21.15	0.28	5.92	
LANDING 2	300A	7'-1"	85	8'-5.5"	77.5	84.25	78.75	WOOD CLAD	FIXED	45.75	0.28	12.81	TEMPERED
LANDING 2	300B	7'-1"	85	8'-5.5"	77.5	84.25	78.75	WOOD CLAD	FIXED	45.75	0.28	12.81	TEMPERED
HALL	301A	4'-0"	48	7'-0"	84	47.25	83.25	WOOD CLAD	FIXED	28.00	0.28	7.84	TEMPERED
HALL	301B	3'-0"	36	7'-0"	84	35.25	83.25	WOOD CLAD	RH CASEMENT	21.00	0.28	5.88	TEMPERED
MAIN BEDROOM	302A	2'-6"	30	7'-0"	84	29.25	83.25	WOOD CLAD	FIXED	17.50	0.28	4.90	TEMPERED, WOOD SLAT SCREEN, FIXED
MAIN BEDROOM	302B	2'-4"	28	7'-0"	84	27.25	83.25	WOOD CLAD	FIXED	16.33	0.28	4.57	TEMPERED
MAIN BEDROOM	302C	2'-11.5"	35.5	7'-0"	84	34.75	83.25	WOOD CLAD	RH CASEMENT	20.71	0.28	5.80	TEMPERED, EGRESS
WALK IN CLOSET	303A	3'-1"	37	8'-0.5"	96.5	36.25	95.75	WOOD CLAD	FIXED	24.80	0.28	6.94	TEMPERED, WOOD SLAT SCREEN, FIXED
WALK IN CLOSET	303B	3'-0"	36	13'-7.5"	163.5	35.25	162.75	ALUMINUM	FIXED SKYLIGHT	40.88	0.28	11.45	
MAIN BATH	304A	3'-2"	38	7'-0"	84	37.25	83.25	WOOD CLAD	LH CASEMENT	22.17	0.28	6.21	TEMPERED
MAIN BATH	304B	6'-0"	72	7'-0"	84	71.25	83.25	WOOD CLAD	FIXED	42.00	0.28	11.76	TEMPERED
MAIN BATH	304C	2'-0"	24	7'-0"	84	23.25	83.25	WOOD CLAD	FIXED	14.00	0.28	3.92	TEMPERED, WOOD SLAT SCREEN, FIXED
MAIN BATH	304D	2'-4"	28	7'-7.5"	89.5	27.25	88.75	ALUMINUM	FIXED SKYLIGHT	17.40	0.28	4.87	
BEDROOM 2	305A	3'-0"	36	8'-0.5"	96.5	35.25	95.75	WOOD CLAD	FIXED	24.13	0.28	6.76	TEMPERED
BEDROOM 2	305B	3'-0"	36	5'-0"	60	35.25	59.25	WOOD CLAD	RH CASEMENT	15.00	0.28	4.20	EGRESS
KIDS' BATH	306A	2'-6"	30	5'-0"	60	29.25	59.25	WOOD CLAD	RH CASEMENT	12.50	0.28	3.50	SHOWER WINDOW
BEDROOM 1	307A	3'-0"	36	5'-0"	60	35.25	59.25	WOOD CLAD	RH CASEMENT	15.00	0.28	4.20	
BEDROOM 1	307B	3'-0"	36	7'-0"	84	35.25	83.25	WOOD CLAD	LH CASEMENT	21.00	0.28	5.88	TEMPERED, EGRESS

WINDOW SUBTOTAL	1285.70	11.76	344.90	
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EXTERIOR DOORS WITH MORE THAN 50% GLASS

ROOM	ELEVATION TAG	WIDTH (R.O.)	INCHES	HEIGHT (R.O.)	INCHES	FRAME WIDTH (INCHES)	FRAME HEIGHT (INCHES)	FRAME TYPE	TYPE	AREA S.F.	U-VALUE	UxA	NOTES
GYMNASIUM	100.1	6'-11"	83	8'-6"	102	82.25	101.25	WOOD CLAD	XO SLIDER	58.79	0.28	16.46	
FOYER	200.2	11'-10 1/4" / 9'-8 1/8"	258.38	9'-7"	115	257.63	114.25	WOOD CLAD	XX-XXX MULTI-SLIDE	206.35	0.28	57.78	
PLAYROOM	203.3	3'-2"	38	9'-7"	115	37.25	114.25	WOOD CLAD	LH INSWING	30.35	0.28	8.50	
DINING	206.1	6'-9.5"	81.5	9'-7"	115	80.75	114.25	WOOD CLAD	XO SLIDER	65.09	0.28	18.22	

GLAZED DOOR SUBTOTAL	360.57	0.28	100.96	
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SQ. FT. GLAZING	1,628.27
TOTAL SQ. FT.	3,713.00
GLAZING %	44%

EXTERIOR DOORS

ROOM	ELEVATION TAG	WIDTH (R.O.)	INCHES	HEIGHT (R.O.)	INCHES	FRAME TYPE	TYPE	NOTES
FOYER	200.1	4'-7"	55	8'-8"	116	WOOD	LH SWING	
EQUIPMENT SHED	2.1	4'-9 3/4"	57.75	8'-0"	96	WOOD	DOUBLE SWING	FRONT DOOR; LOCKING HARDWARE; PROVIDE ALLOWANCE FOR CUSTOM PULL
EQUIPMENT SHED	2.2	4'-9 3/4"	57.75	8'-0"	96	WOOD	DOUBLE SWING	
STORAGE SHED	3.1	4'-6"	54	8'-0"	96	WOOD	DOUBLE SWING	
STORAGE SHED	3.2	4'-6"	54	8'-0"	96	WOOD	DOUBLE SWING	

INTERIOR DOORS

ROOM	ELEVATION TAG	WIDTH (R.O.)	INCHES	HEIGHT (R.O.)	INCHES	FRAME TYPE	TYPE	NOTES
GYMNASIUM	100.2	5'-8"	68	6'-8"	80	SOLID CORE	BIFOLD (3 PANEL)	
GYMNASIUM	100.3	3'-2"	38	6'-8"	80	SOLID CORE	LH SWING	
OFFICE	101.1	4'-0"	48	6'-8"	80	GLASS LITE	POCKET	
GUEST BATH	102.1	2'-7"	31	6'-8"	80	SOLID CORE	LH SWING	
CELLAR	103.1	2'-7"	31	6'-8"	80	SOLID CORE	RH SWING	
MECHANICAL	104.1	2'-7"	31	6'-8"	80	SOLID CORE	LH SWING	
GUEST BEDROOM	105.1	2'-7"	31	6'-8"	80	SOLID CORE	RH SWING	
GUEST BEDROOM	105.2	6'-5"	77	6'-8"	80	SOLID CORE	BYPASS	
PLAYROOM	203.1	4'-7"	55	8'-0"	96	SOLID CORE	POCKET	
PLAYROOM	203.2	2'-8"	32	8'-0"	96	SOLID CORE	LH SWING	
POWDER	204.1	2'-8"	32	8'-0"	96	SOLID CORE	POCKET	
MAIN BEDROOM	302.1	2'-8"	32	8'-0"	96	SOLID CORE	LH SWING	
MAIN BATH	304.1	2'-8"	32	8'-0"	96	SOLID CORE	LH SWING	
BEDROOM 2	305.1	2'-8"	32	8'-0"	96	SOLID CORE	LH SWING	
BEDROOM 2	305.2	6'-8"	80	8'-0"	96	SOLID CORE	BYPASS	
KIDS' BATH	306.1	2'-8"	32	8'-0"	96	SOLID CORE	RH SWING	
BEDROOM 1	307.1	2'-8"	32	8'-0"	96	SOLID CORE	RH SWING	
BEDROOM 1	307.1	6'-8"	80	8'-0"	96	SOLID CORE	BYPASS	



*REQUIRED EGRESS WINDOWS:

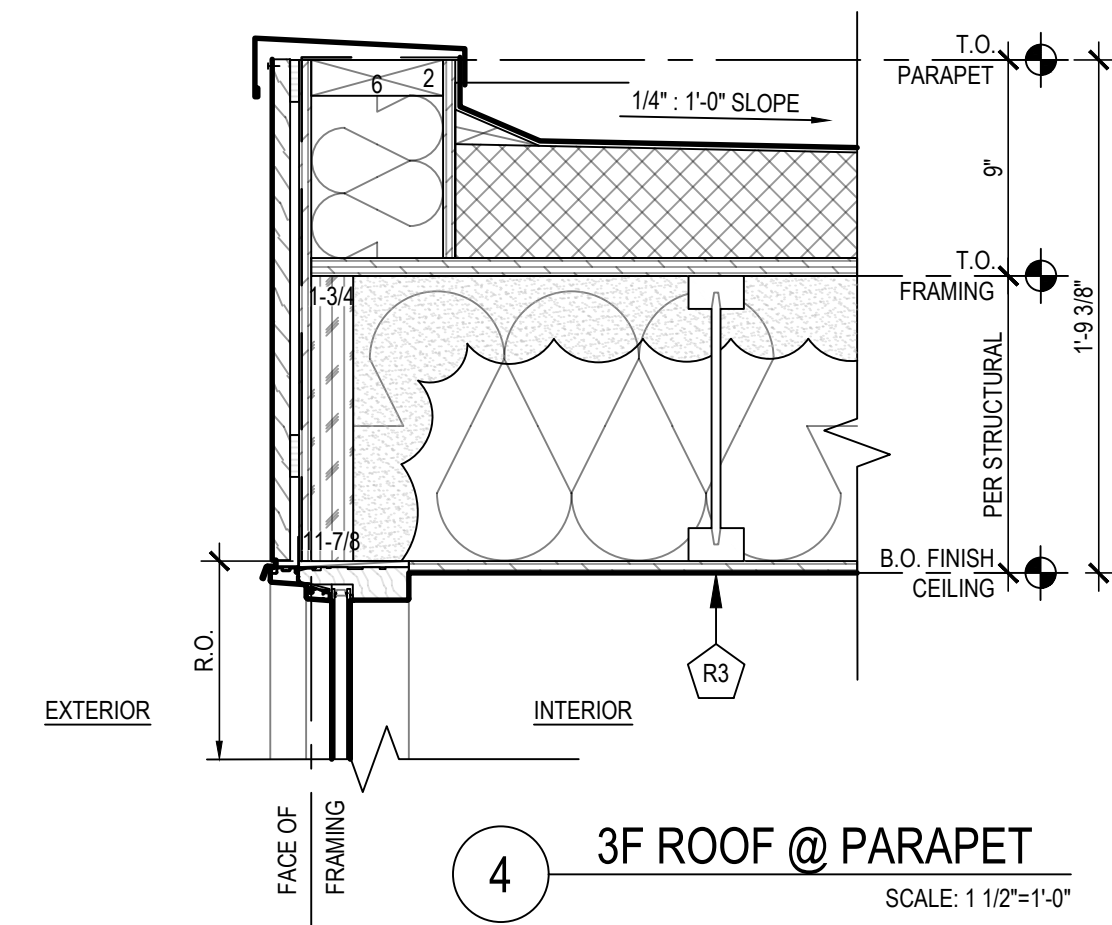
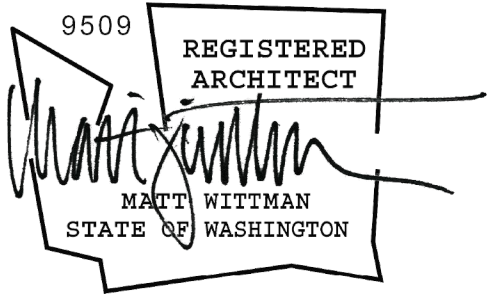
NET CLEAR OPEN AREA = 5.7 SQ.FT. MIN
MINIMUM CLEAR OPEN WIDTH = 20"
MINIMUM CLEAR OPEN HEIGHT = 24"
MAXIMUM SILL HEIGHT = 44"

2018 WSEC CHAPTER 6 QUALIFICATION - PRESCRIPTIVE - ENERGY CREDIT OPTION 1A: EFFICIENT BUILDING ENVELOPE - ALL WINDOWS AND DOORS SHALL BE NFRC CERTIFIED AND SHALL BE LABELED WITH NFRC CERTIFIED U-FACTOR- OR GLAZING ASSEMBLY SHALL MEET OR EXCEED .28 U VALUE WITH WRITTEN SPECIFICATION FROM GLAZING MANUFACTURER AND INSTALLER:

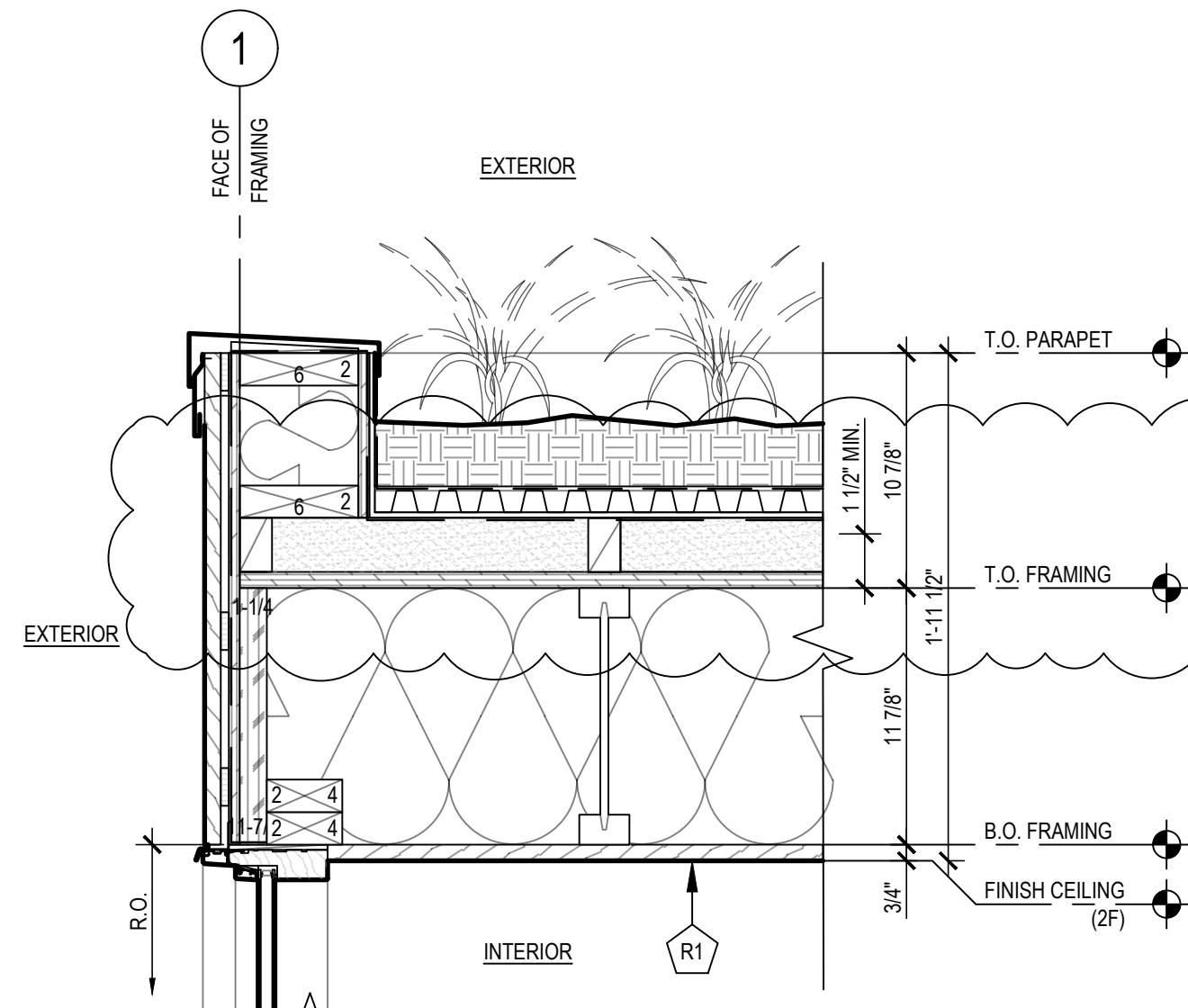
GLAZING MAX%	UNLIMITED
VERT. GLAZ U-FACTOR	0.28
OVHD. GLAZ U-FACTOR	0.5
DOOR U-FACTOR	0.2 (R-5)
CEILINGS W/ATTICS	R-49
CEILINGS, VAULTED	R-38
ABOVE GRADE WALLS	R-21
BELOW GRADE INTERIOR	R-21
BELOW GRADE EXTERIOR	R-10
FLOOR	R-38
SLAB ON GRADE	R-10

WINDOW SCHEDULE NOTES:

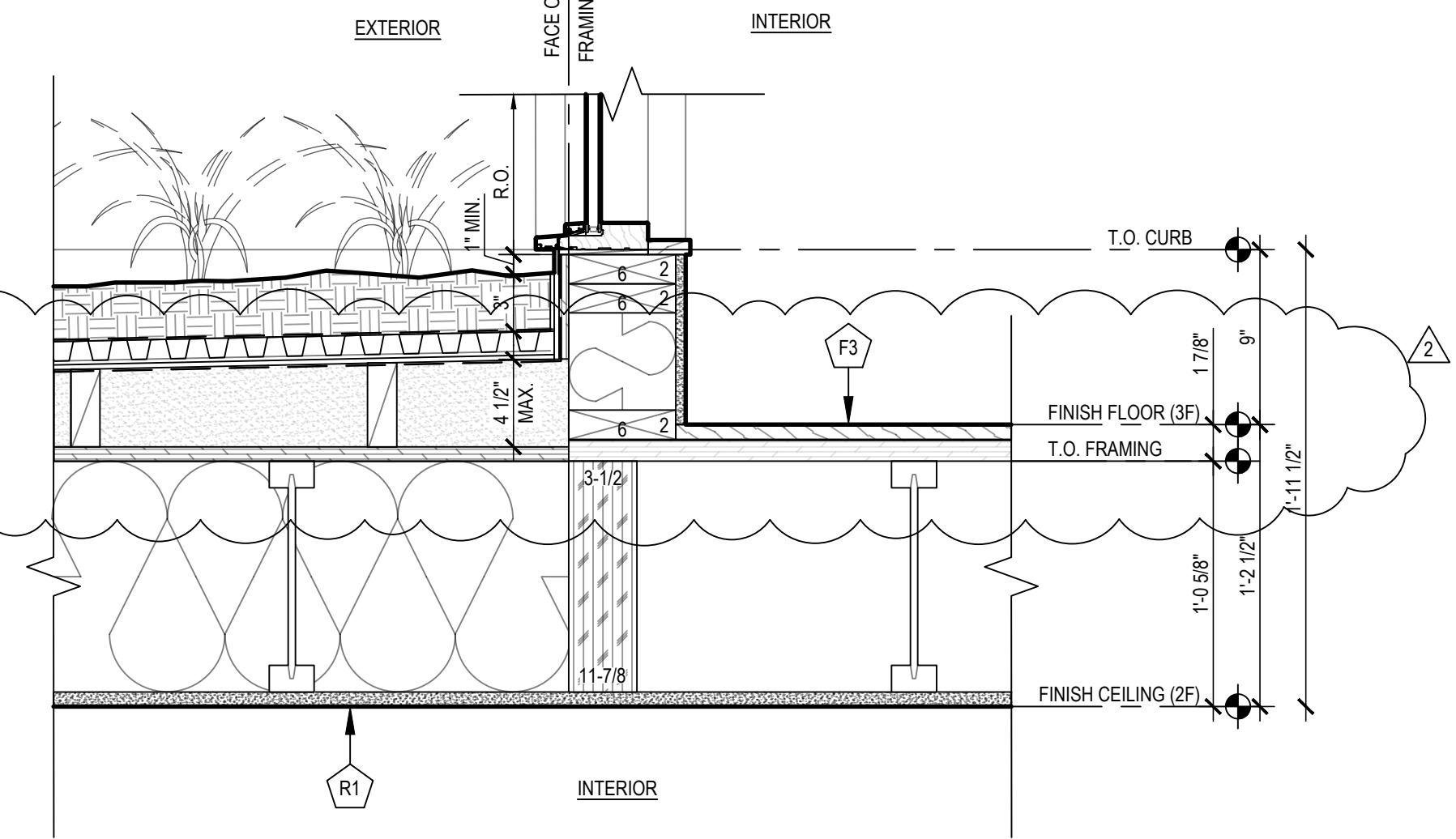
- THIS WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY. THE SIZES SHOWN ARE NOMINAL WINDOW SIZES, ROUGH OPENINGS, GANGING DETAILS, ETC. WILL VARY BY WINDOW TYPE, MATERIAL AND MANUFACTURER. DESIGNATIONS AND DIMENSIONS SHOULD BE CONFIRMED WITH WINDOW MANUFACTURER. DO NOT ORDER WINDOW FROM THIS SCHEDULE. GENERAL CONTRACTORS SHOULD CONFIRM FRAMING AND RESULTING ROUGH OPENING PRIOR TO ORDERING WINDOWS. COORDINATE WITH ARCHITECT TO CONFIRM FINAL WINDOW PROPORTIONS, SIZES, AND BREAK-UP LIGHTS. WINDOWS, COORDINATE WITH ARCHITECT TO CONFIRM FINAL WINDOW PROPORTIONS, SIZES, AND BREAK-UP OF LIGHTS.
- ALL WINDOWS AND DOORS SHALL MEET OR EXCEED .28 U VALUE WITH WRITTEN SPECIFICATION FROM GLAZING MANUFACTURER AND INSTALLER.
- GLAZING U-FACTOR TO BE 0.28 OR BETTER IN ACCORDANCE WITH WSEC ENERGY CREDIT OPTION 1.3: EFFICIENT BUILDING ENVELOPE.
- CONTRACTOR SHALL VERIFY WINDOW AND DOOR ROUGH OPENINGS ARE SQUARE, LEVEL AND PLUM BEFORE INSTALLING WINDOW AND/OR DOOR UNITS.
- WINDOW FLASHING, SILL PANS AND PER AAMA STANDARDS AND MANUFACTURER REQUIREMENTS.



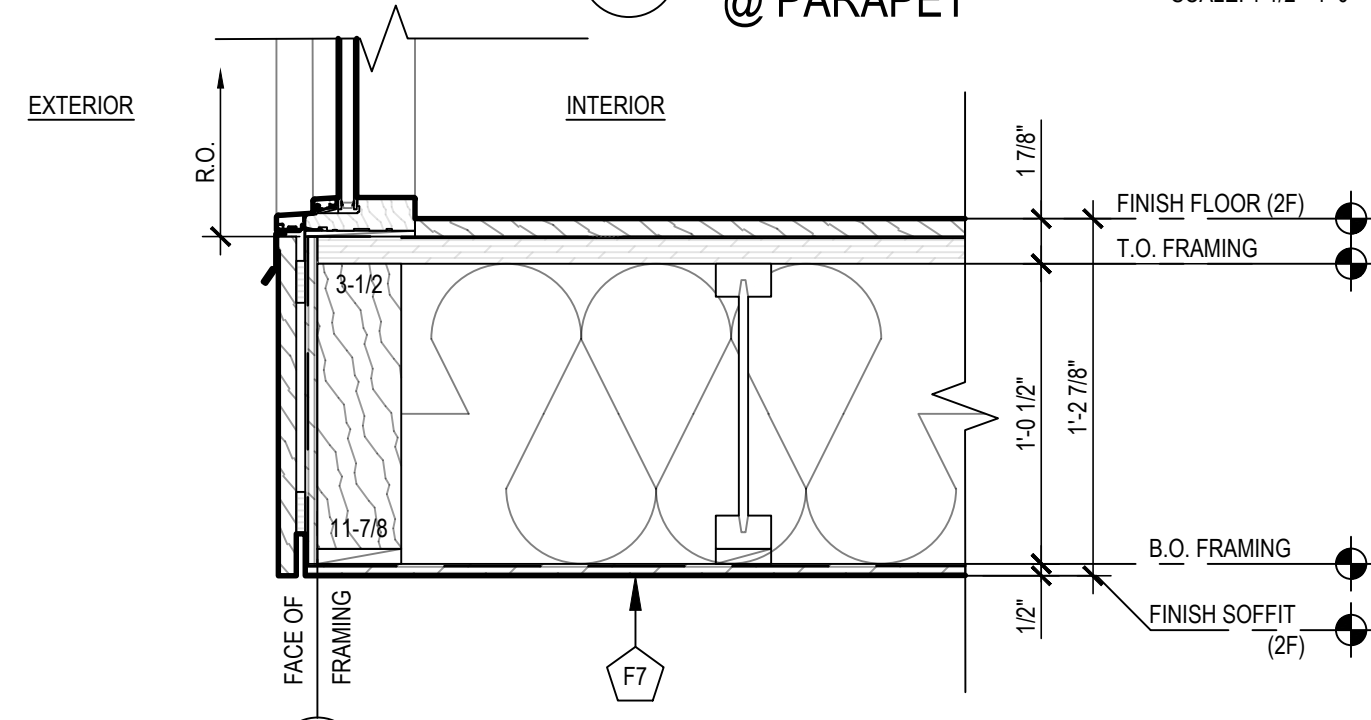
4 3F ROOF @ PARAPET
SCALE: 1 1/2"=1'-0"



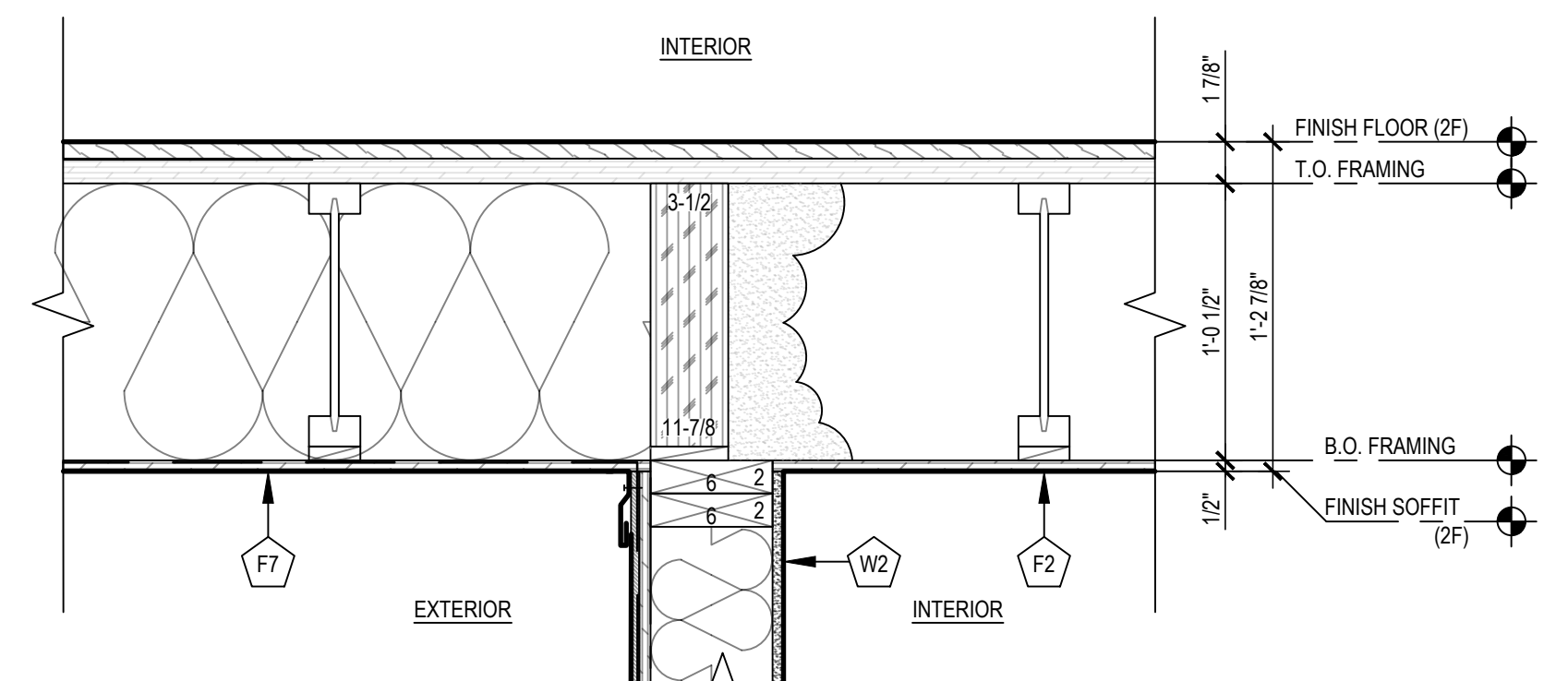
6 2F GREEN ROOFSCAPE @ PARAPET
SCALE: 1 1/2"=1'-0"



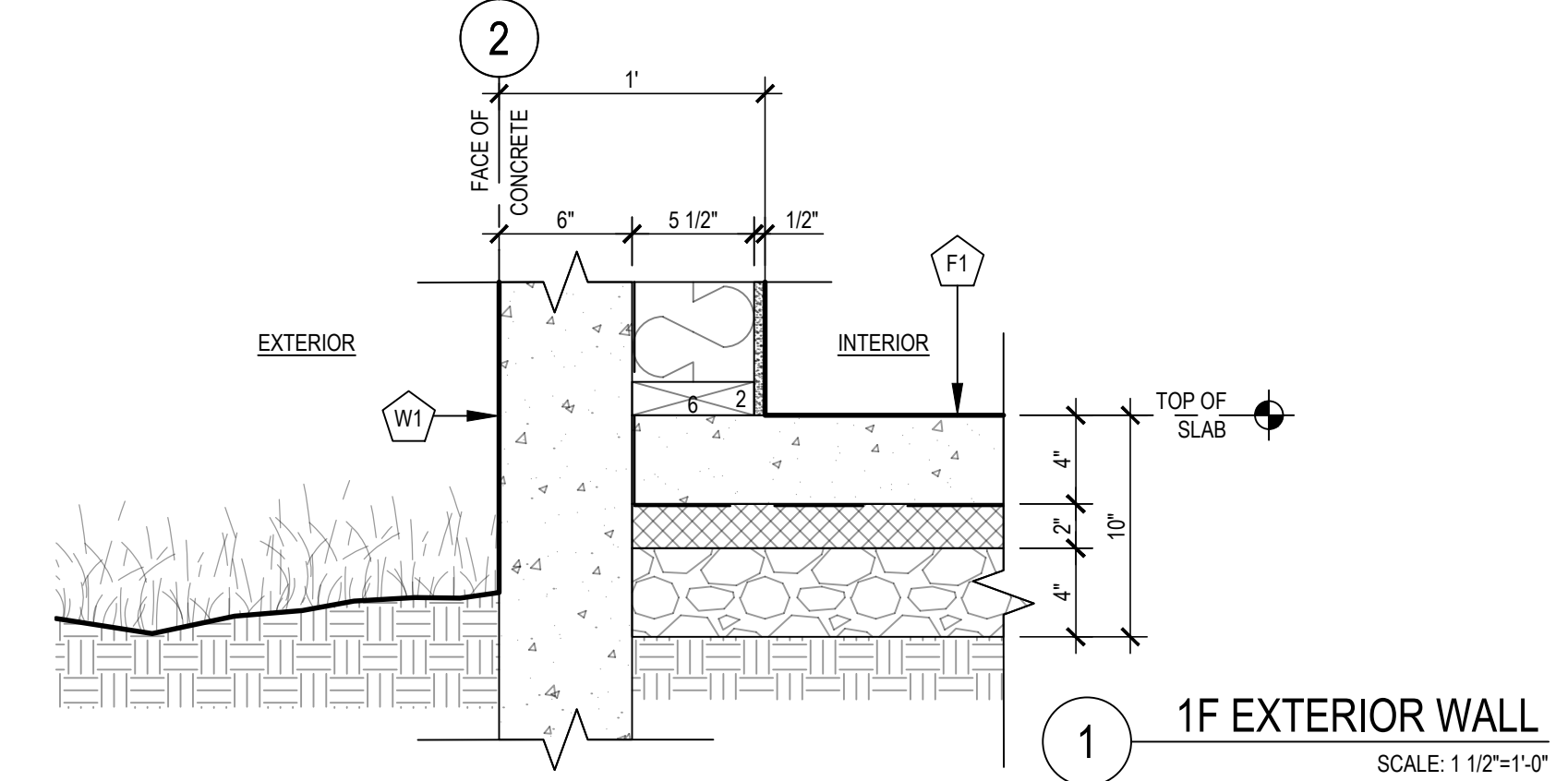
3 3F & GREEN ROOF @ 3F EXTERIOR WALL
SCALE: 1 1/2"=1'-0"



5 2F SOFFIT @ EXTERIOR WALL
SCALE: 1 1/2"=1'-0"



2 2F FLOOR & SOFFIT @ 1F EXTERIOR WALL
SCALE: 1 1/2"=1'-0"



1 1F EXTERIOR WALL
SCALE: 1 1/2"=1'-0"

2014

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TPN #3623500037

CAR2 #CAO21-006
BUILDING PERMIT #2110-193

BUILDING PERMIT
ISSUE DATE: 8/30/2022

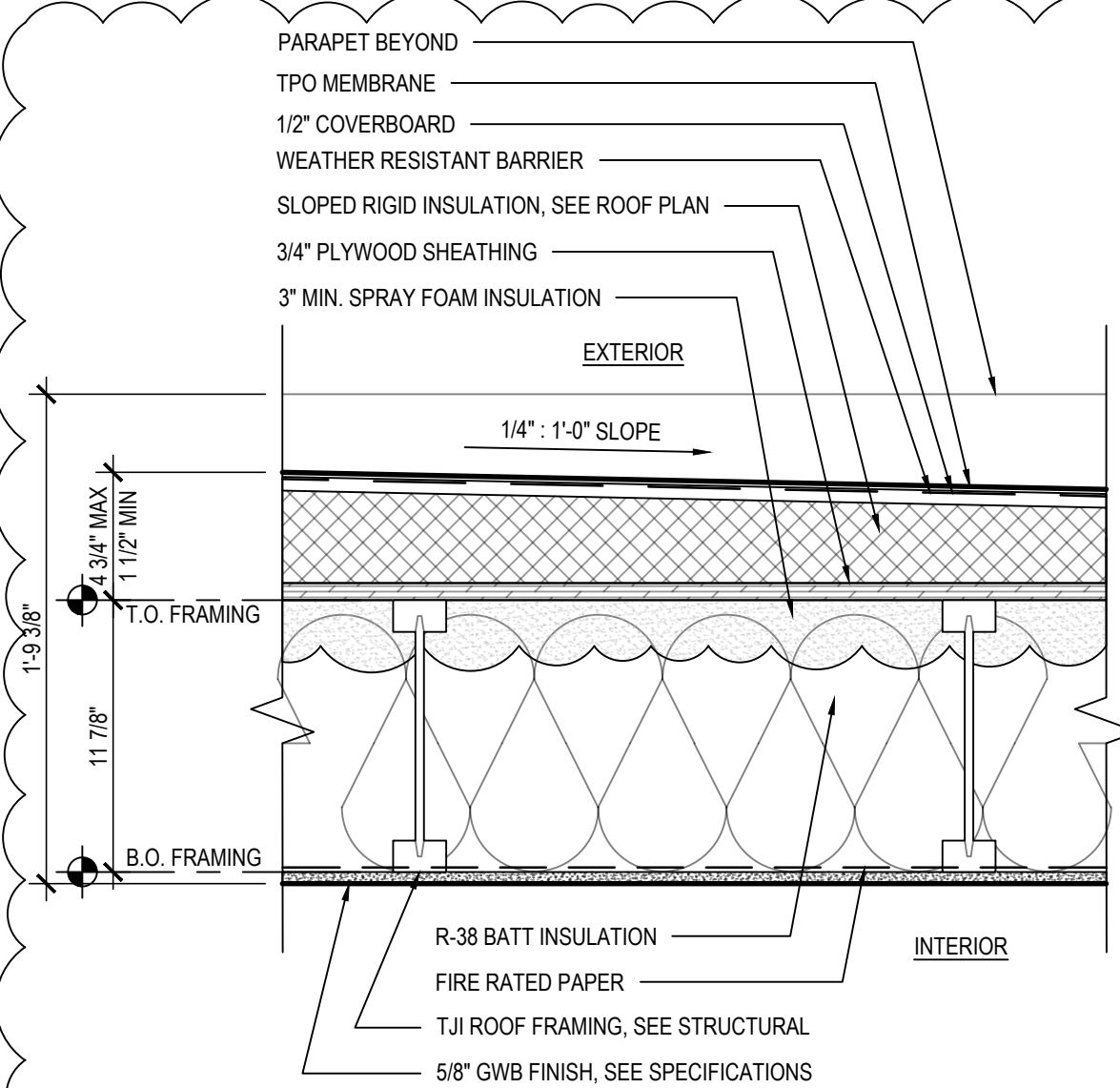
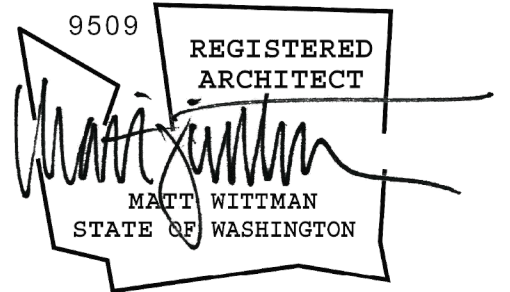
REVISIONS

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

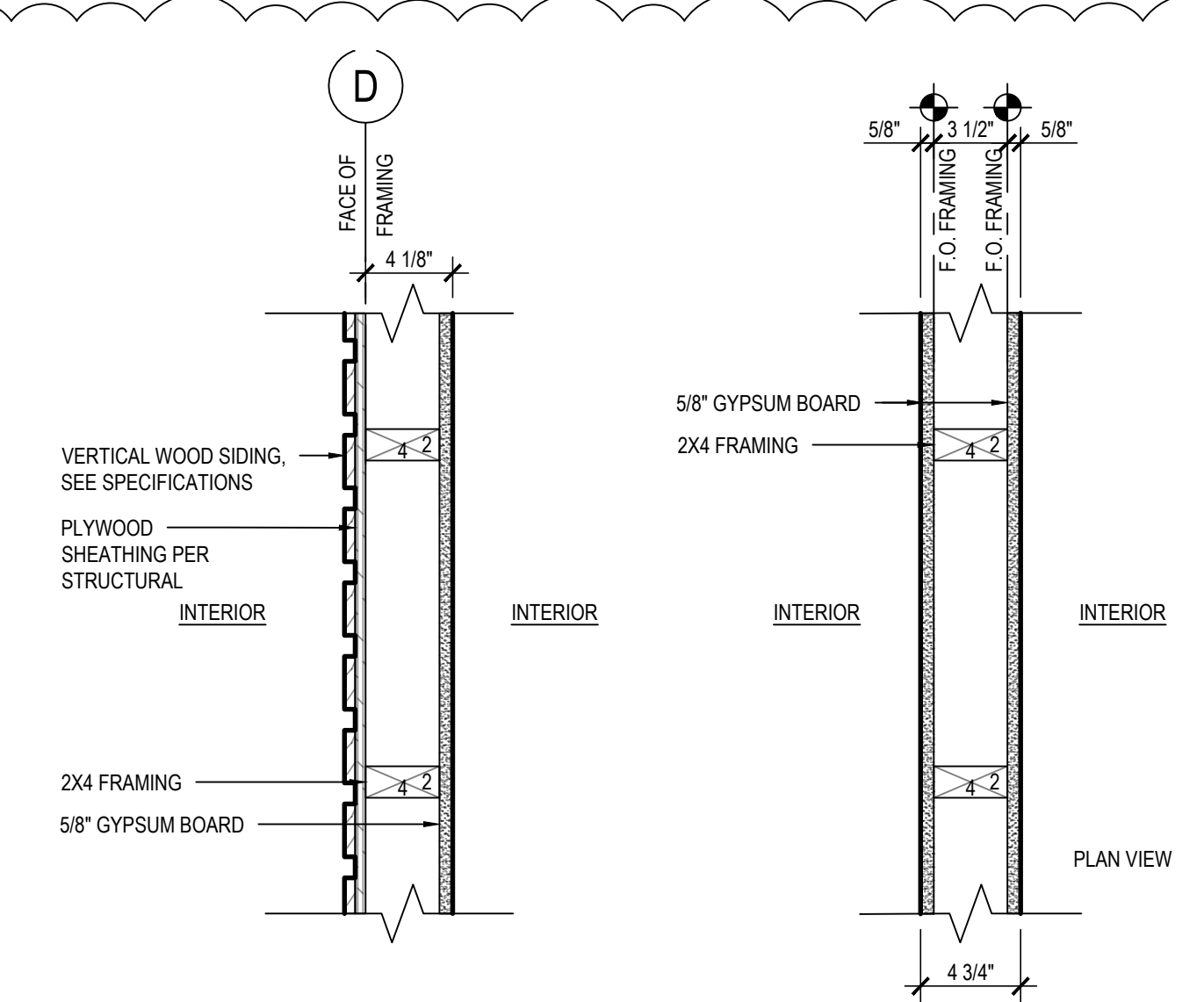
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CHECKED BY: MW

assembly details

A5.0



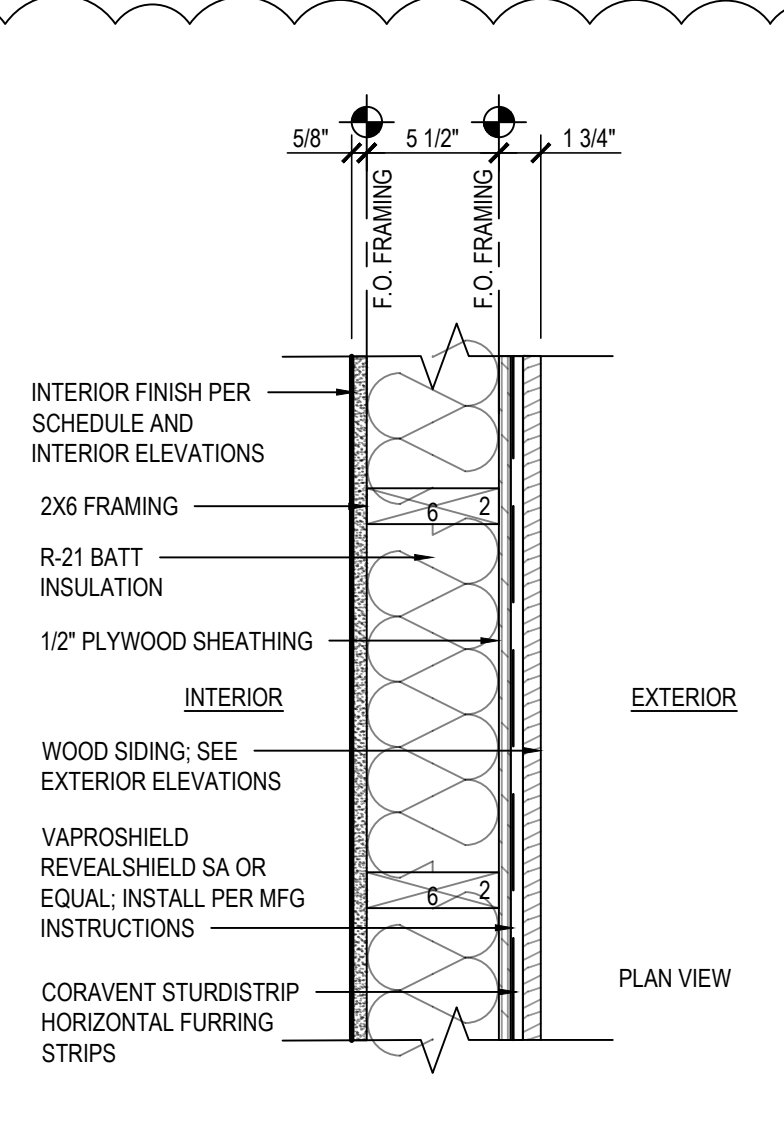
R3 TYPICAL ROOF ASSEMBLY @ 3F
SCALE: 1 1/2" = 1'-0"



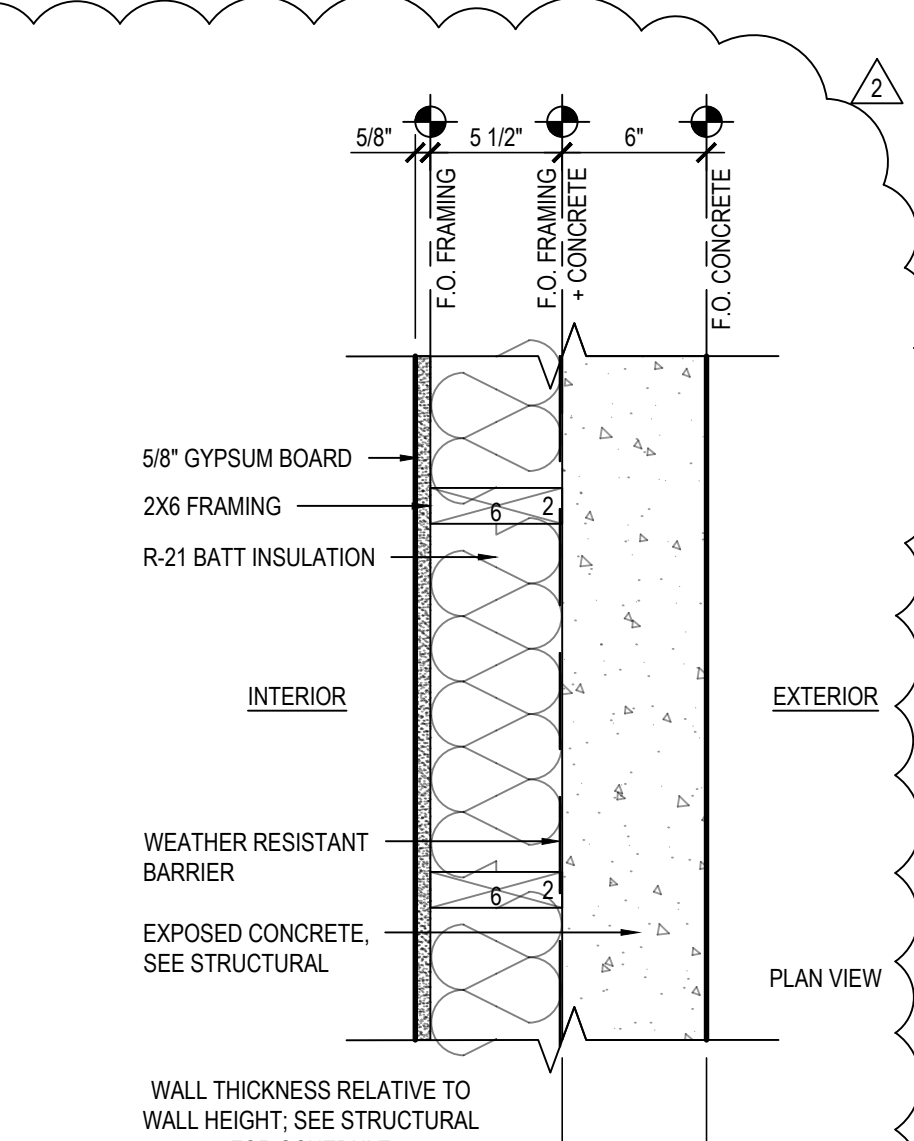
W6 INTERIOR WALL ASSEMBLY @ WD CLADDING
SCALE: 1 1/2" = 1'-0"



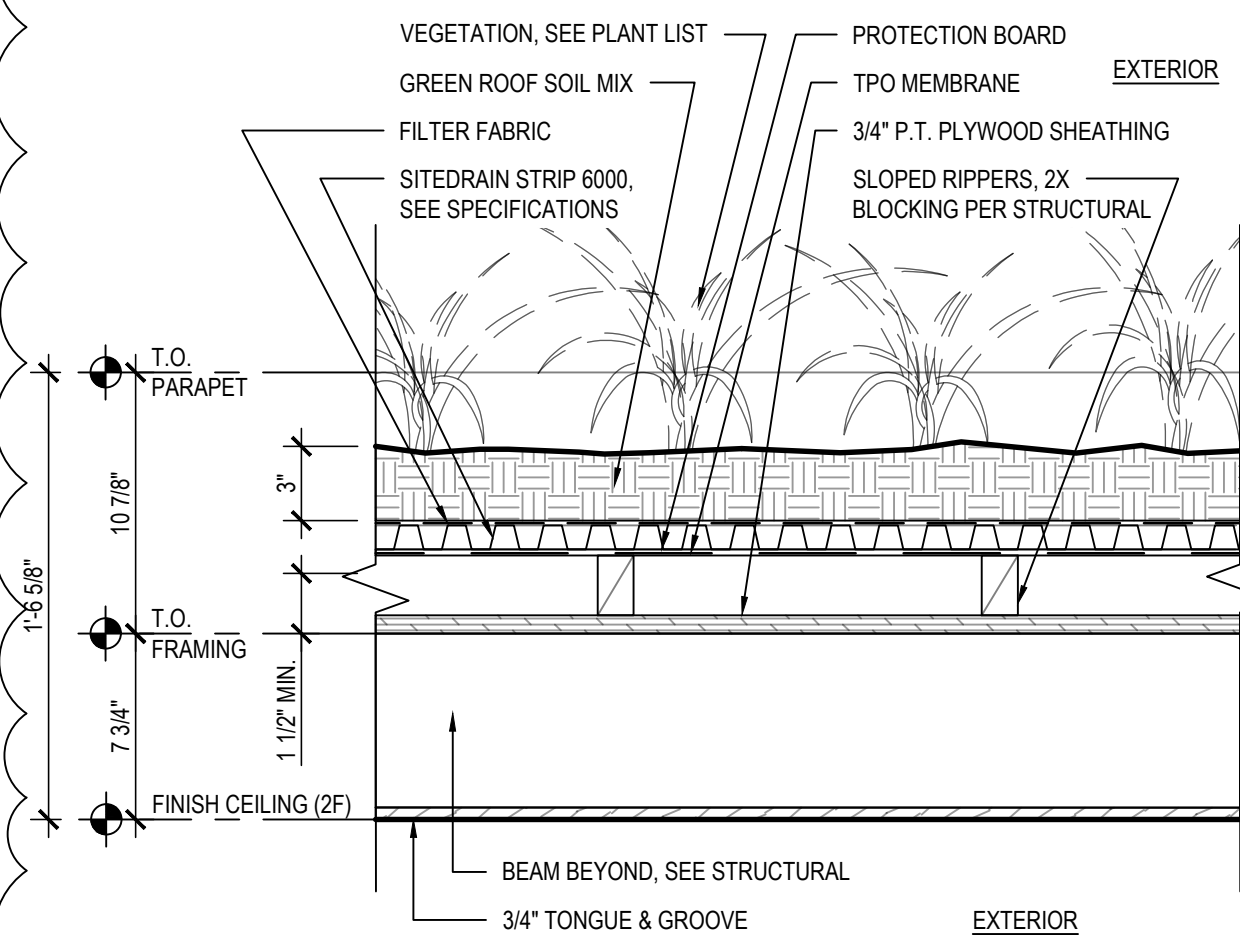
W5 INTERIOR WALL ASSEMBLY @ GWB (TYP.)
SCALE: 1 1/2" = 1'-0"



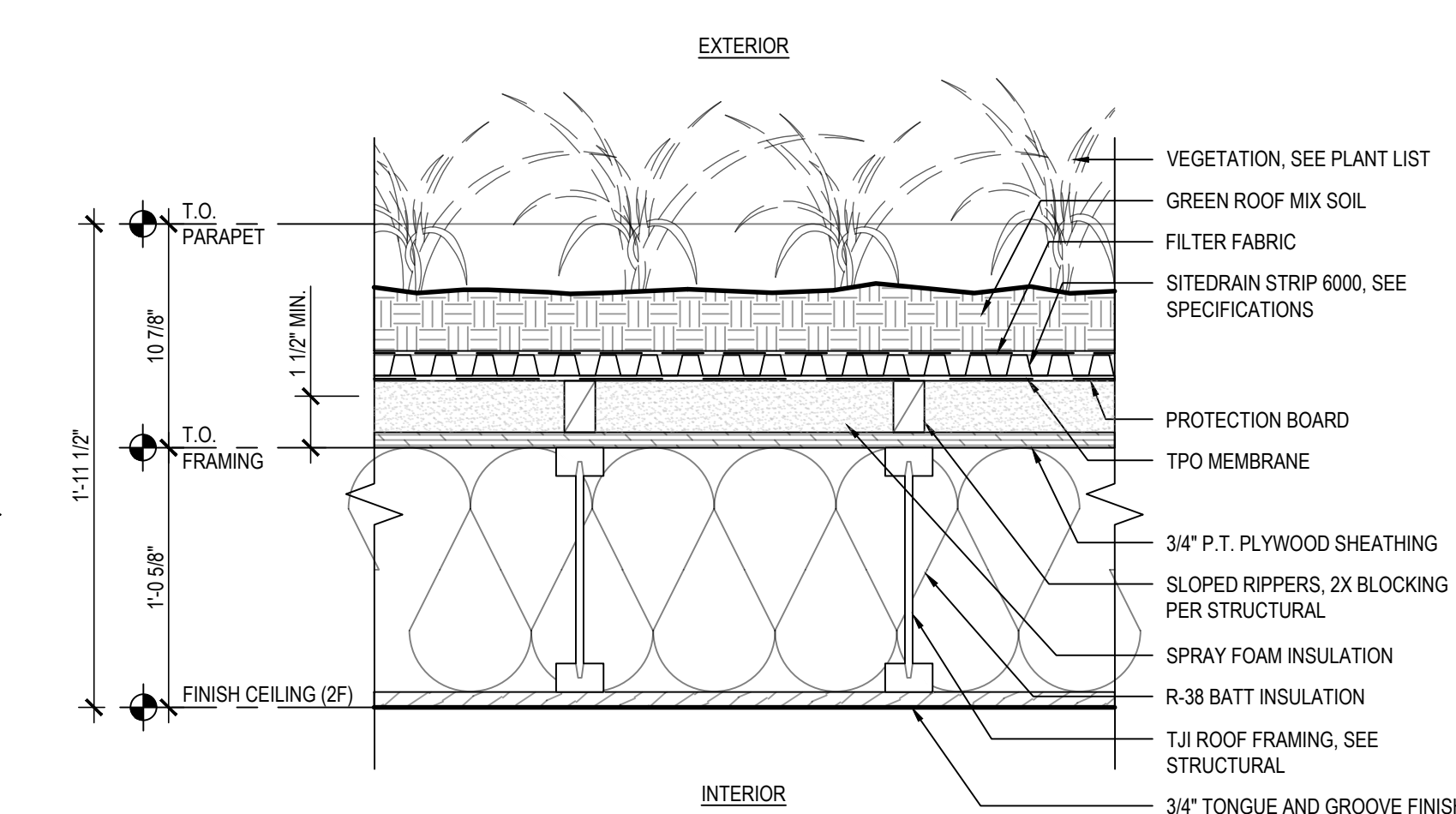
W2 EXT. WALL ASSEMBLY @ WOOD FRAMED
SCALE: 1 1/2" = 1'-0"



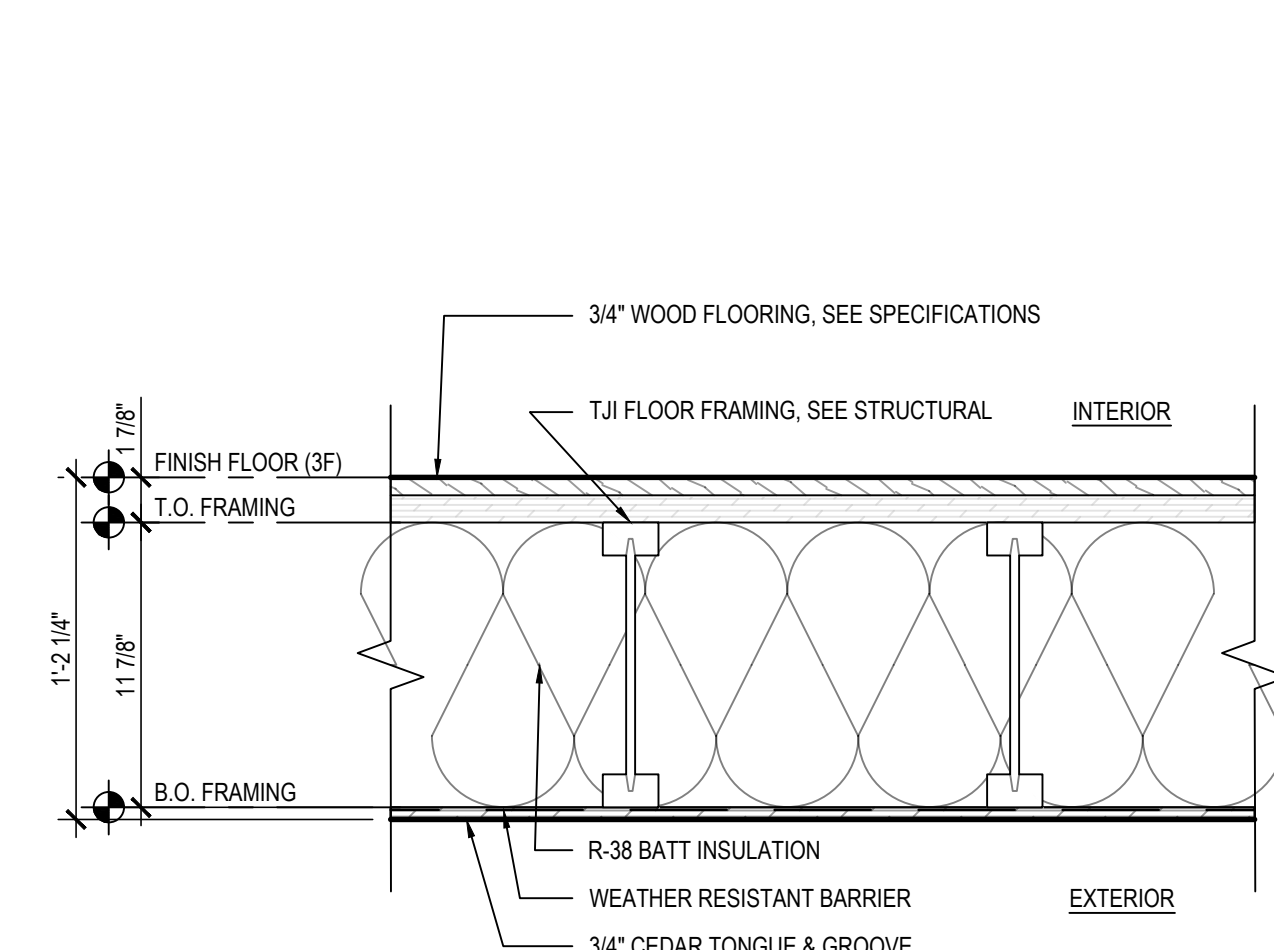
W1 EXTERIOR WALL ASSEMBLY @ CONCRETE
SCALE: 1 1/2" = 1'-0"



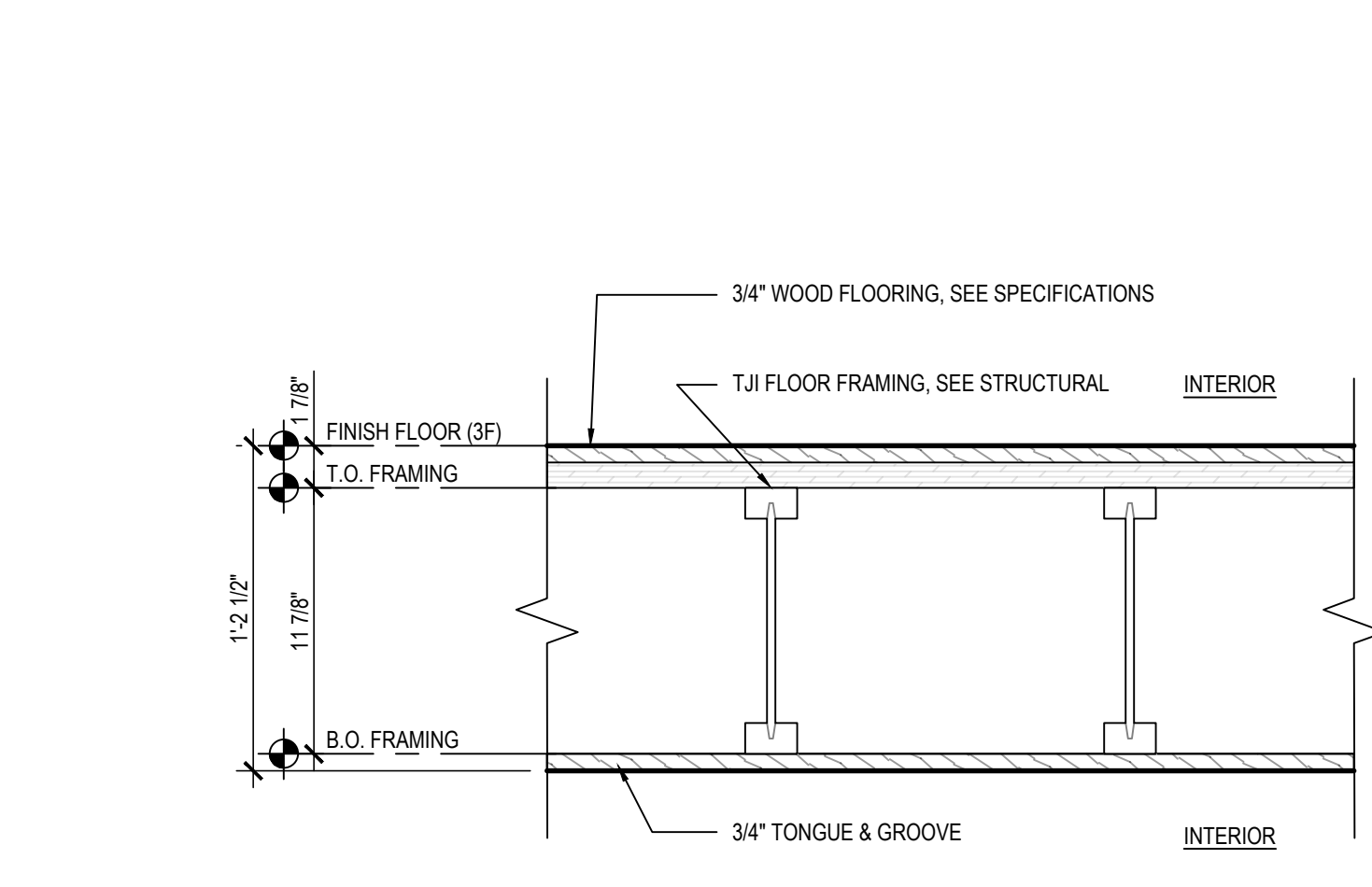
R2 GREEN ROOF @ 2F DECK
SCALE: 1 1/2" = 1'-0"



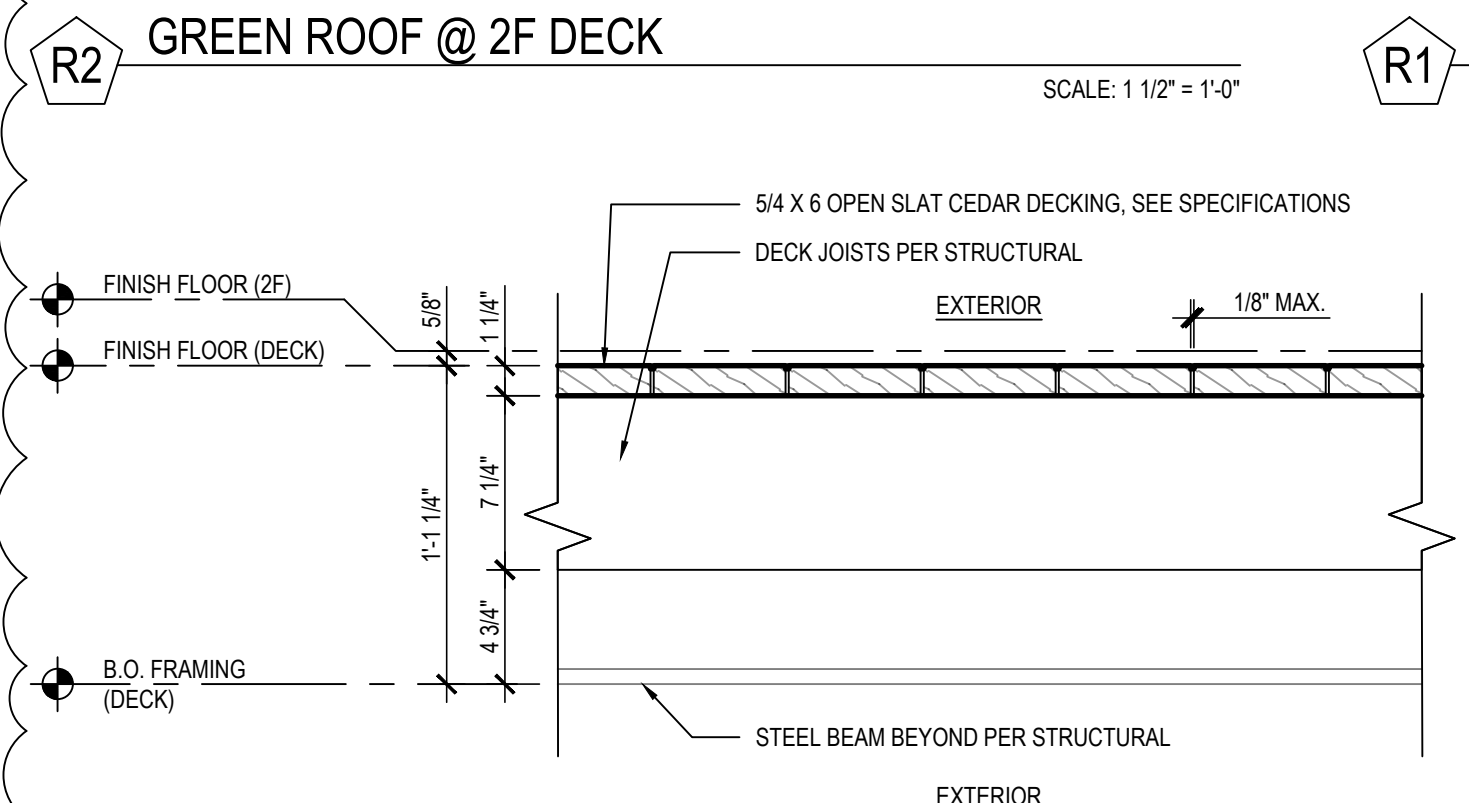
R1 TYPICAL GREEN ROOF @ 2F
SCALE: 1 1/2" = 1'-0"



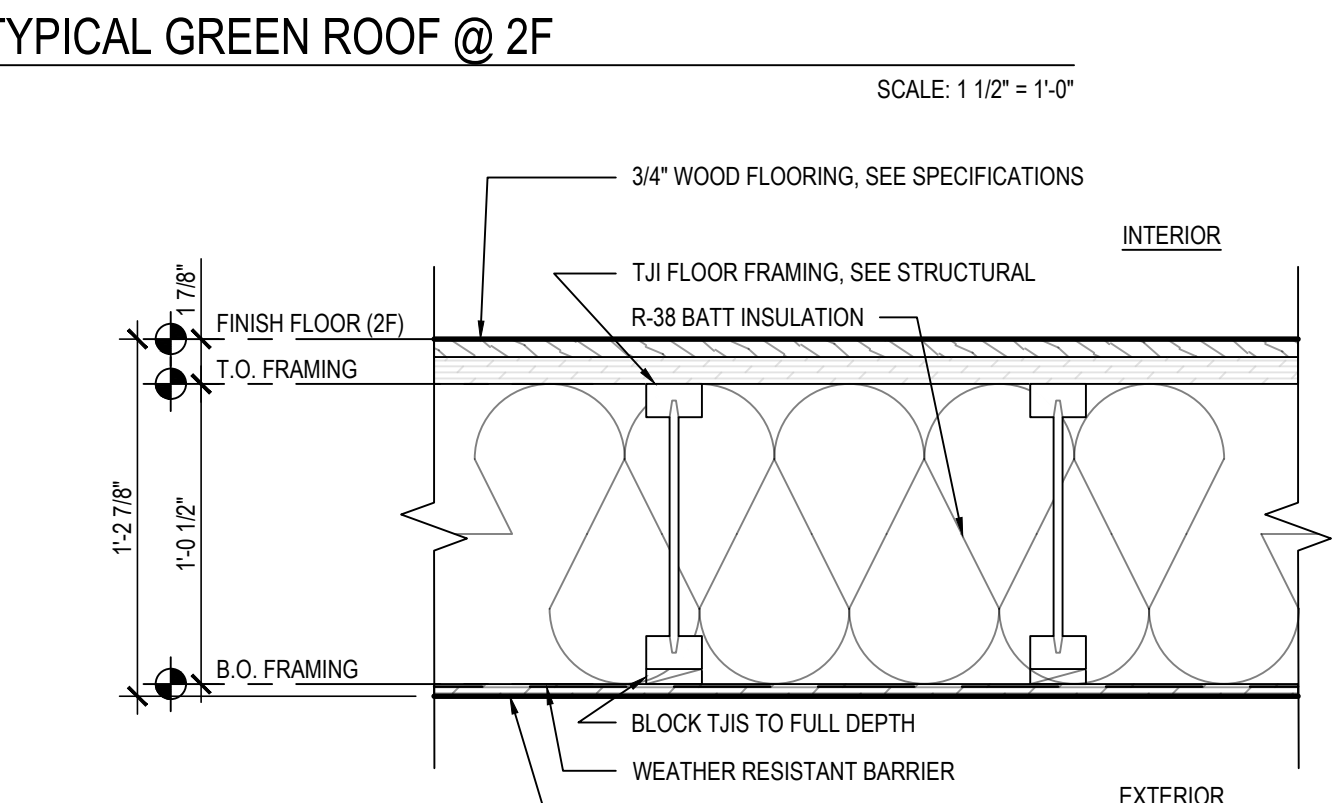
F6 SOFFIT ASSEMBLY @ 3F
SCALE: 1 1/2" = 1'-0"



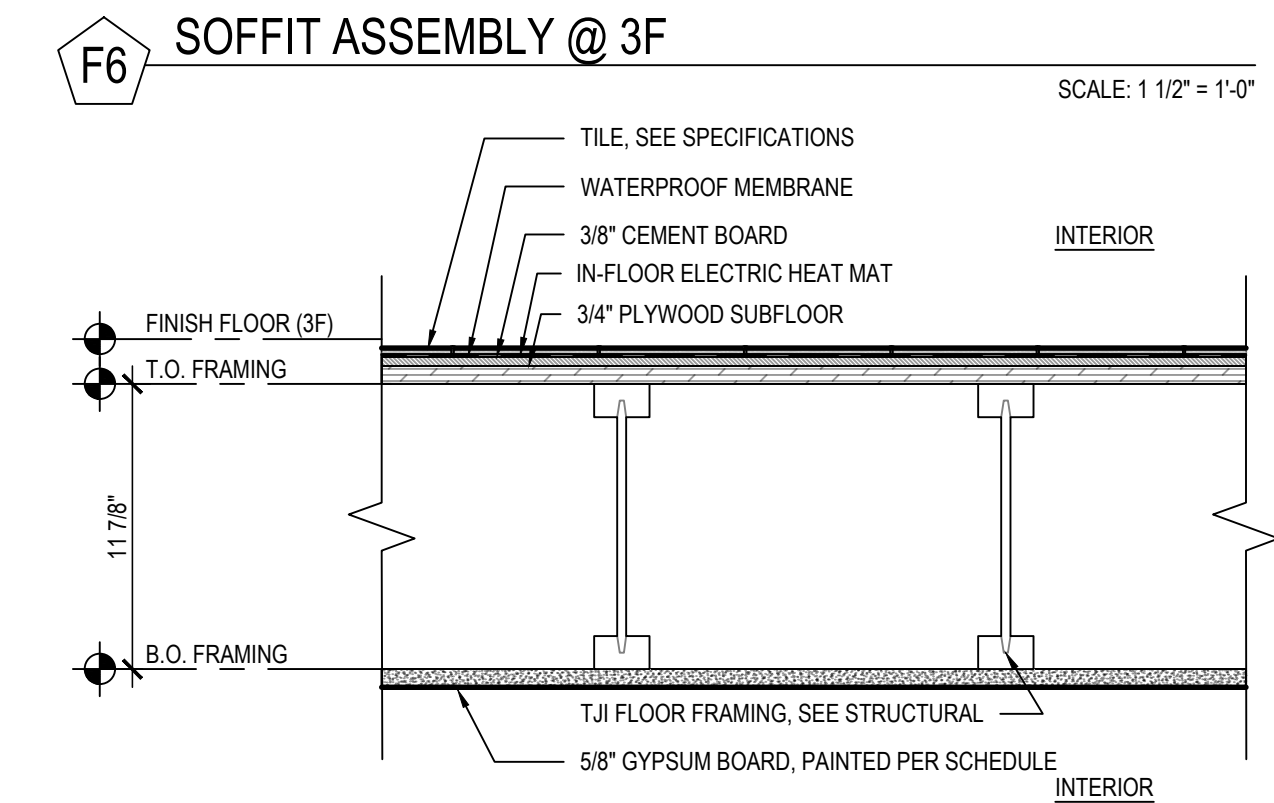
F3 TYPICAL FLOOR ASSEMBLY @ 3F
SCALE: 1 1/2" = 1'-0"



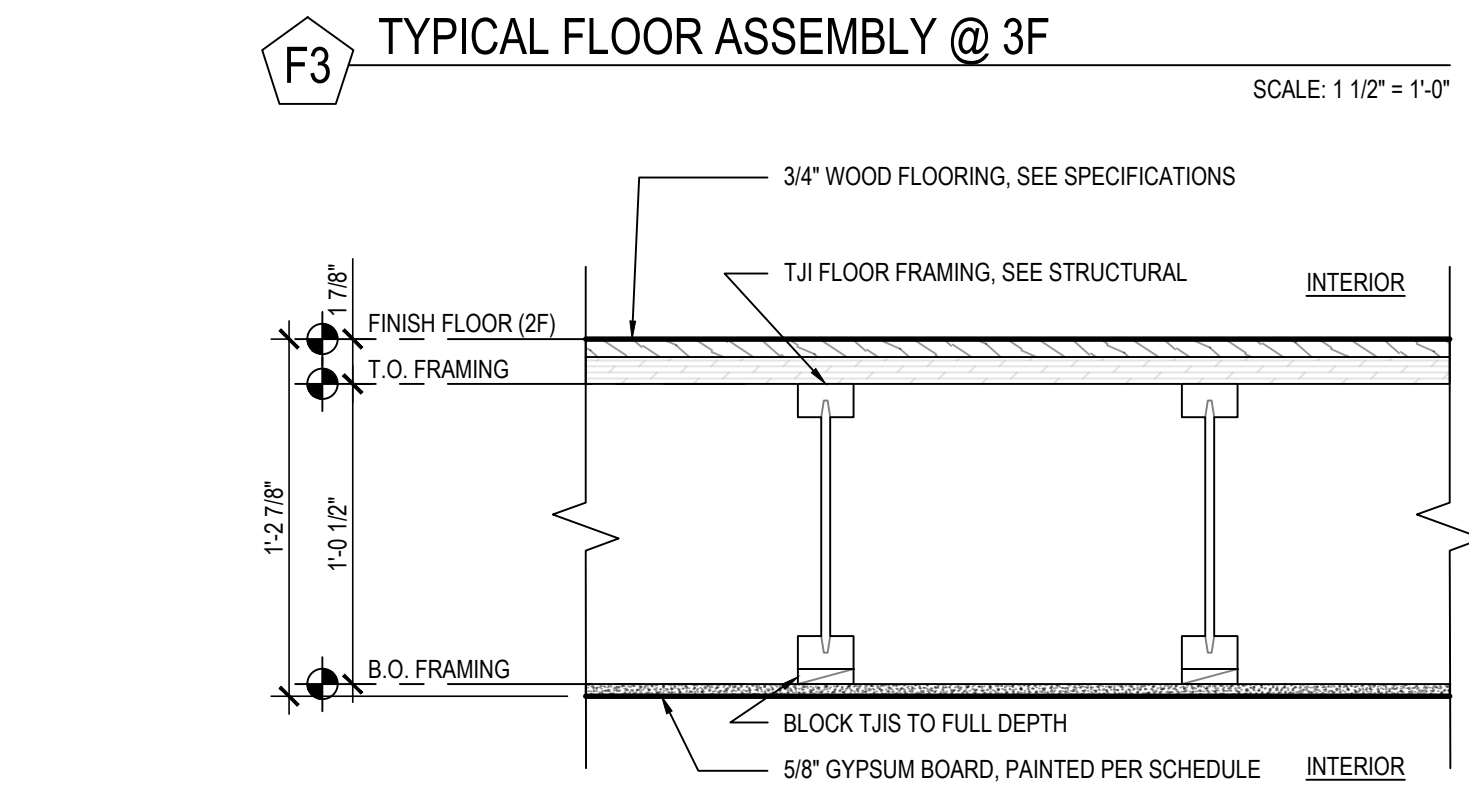
F8 DECK ASSEMBLY @ 2F
SCALE: 1 1/2" = 1'-0"



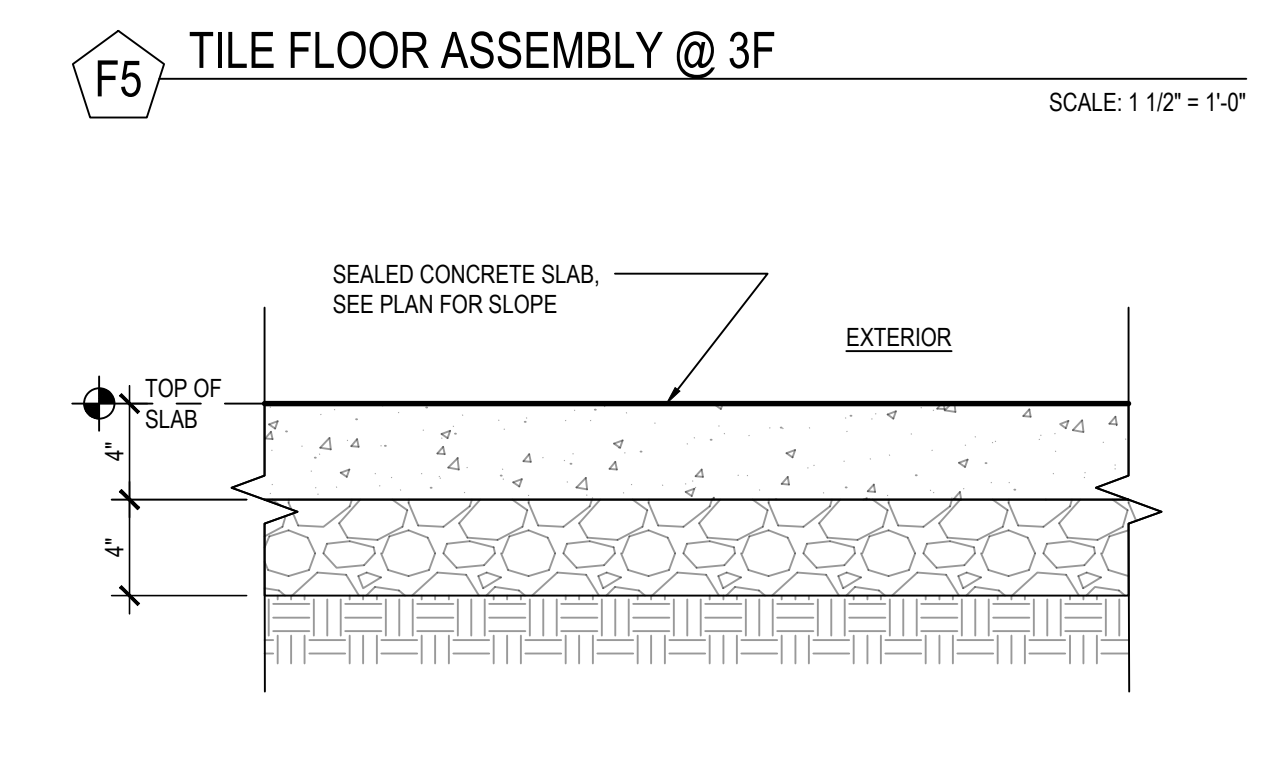
F7 SOFFIT ASSEMBLY @ 2F
SCALE: 1 1/2" = 1'-0"



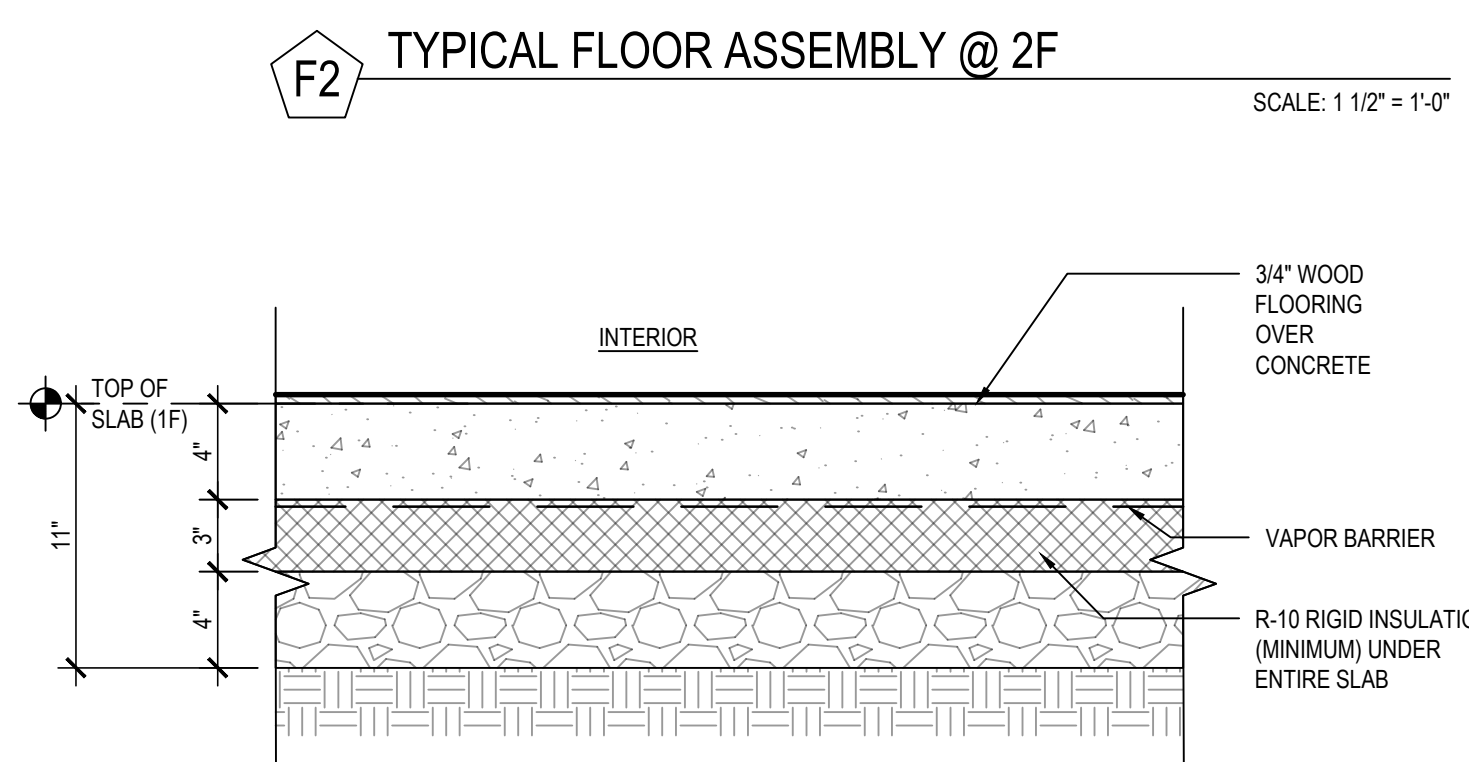
F5 TILE FLOOR ASSEMBLY @ 3F
SCALE: 1 1/2" = 1'-0"



F2 TYPICAL FLOOR ASSEMBLY @ 2F
SCALE: 1 1/2" = 1'-0"



F4 SLAB ON GRADE (PATIO)
SCALE: 1 1/2" = 1'-0"



F1 SLAB ON GRADE @ 1F
SCALE: 1 1/2" = 1'-0"

2014
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CAR2 #CA021-006
BUILDING PERMIT #2110-193

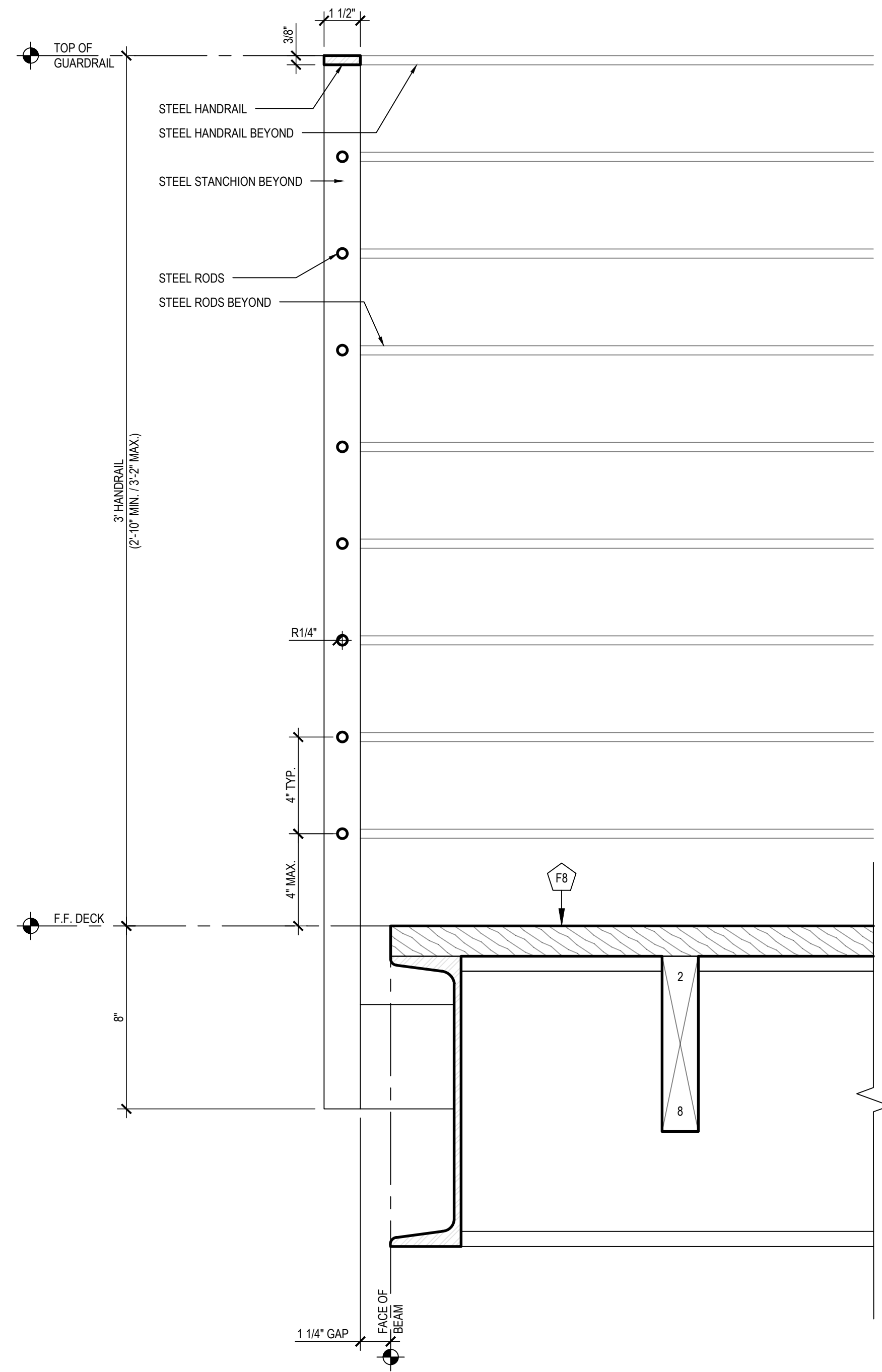
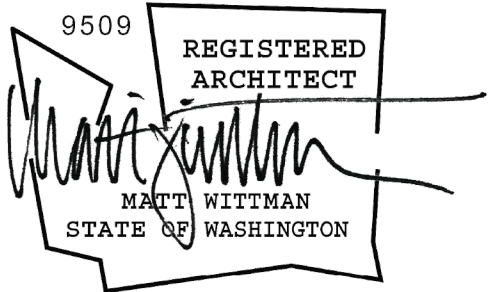
BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

DRAWN BY: HC
CHECKED BY: MW

assembly details

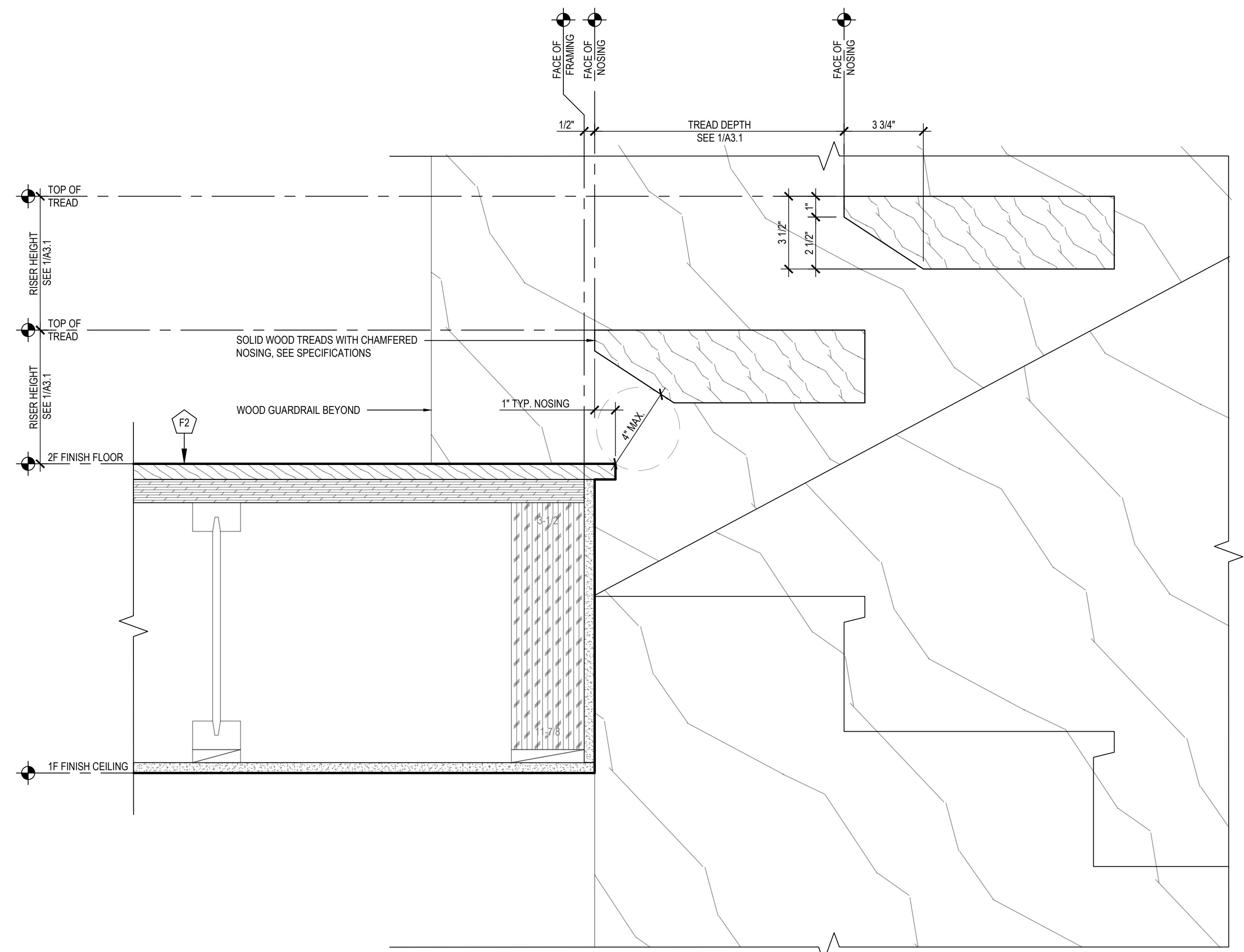
A5.1



3 TYP. EXTERIOR GUARDRAIL SCALE: 3/8"=1'-0"



2 HANDRAIL DETAIL SCALE: 3/8"=1'-0"



1 STAIR DETAIL SCALE: 3/8"=1'-0"

2014

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7345 SE 38TH ST
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TPN #3623500037

CAR2 #CAO21-006
BUILDING PERMIT #2110-193

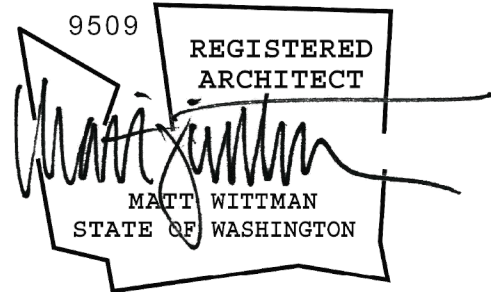
BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
2	CITY REVISIONS	8.30.2022

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CHECKED BY: MW

stair & guardrail details

A5.2



2014

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CAR2 #CAO21-006
BUILDING PERMIT #2110-193

BUILDING PERMIT
ISSUE DATE: 8/30/2022

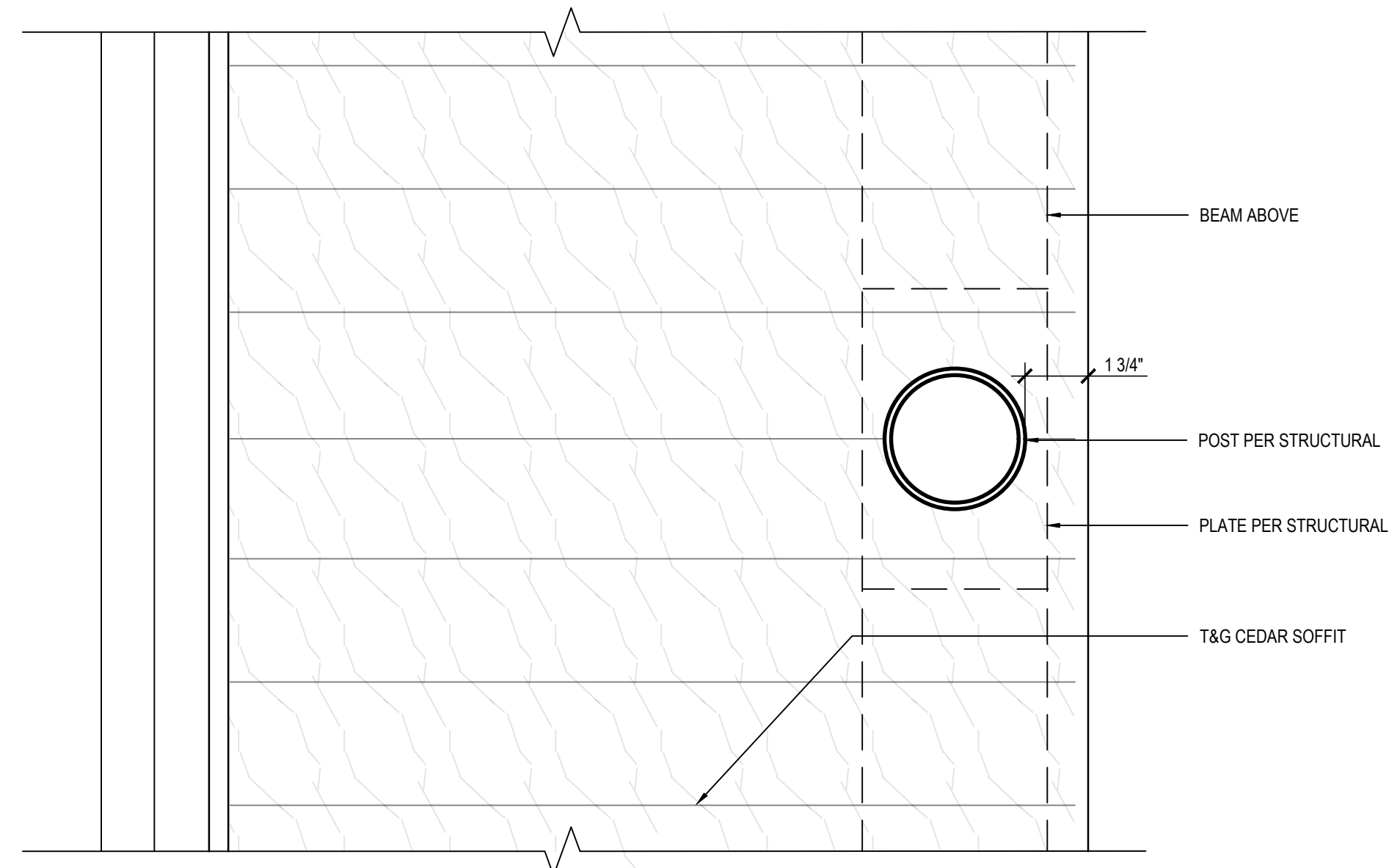
REVISIONS

NO.	ISSUE	DATE
1	CITY REVISIONS	3.18.2022
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DRAWN BY: HC
CHECKED BY: MW

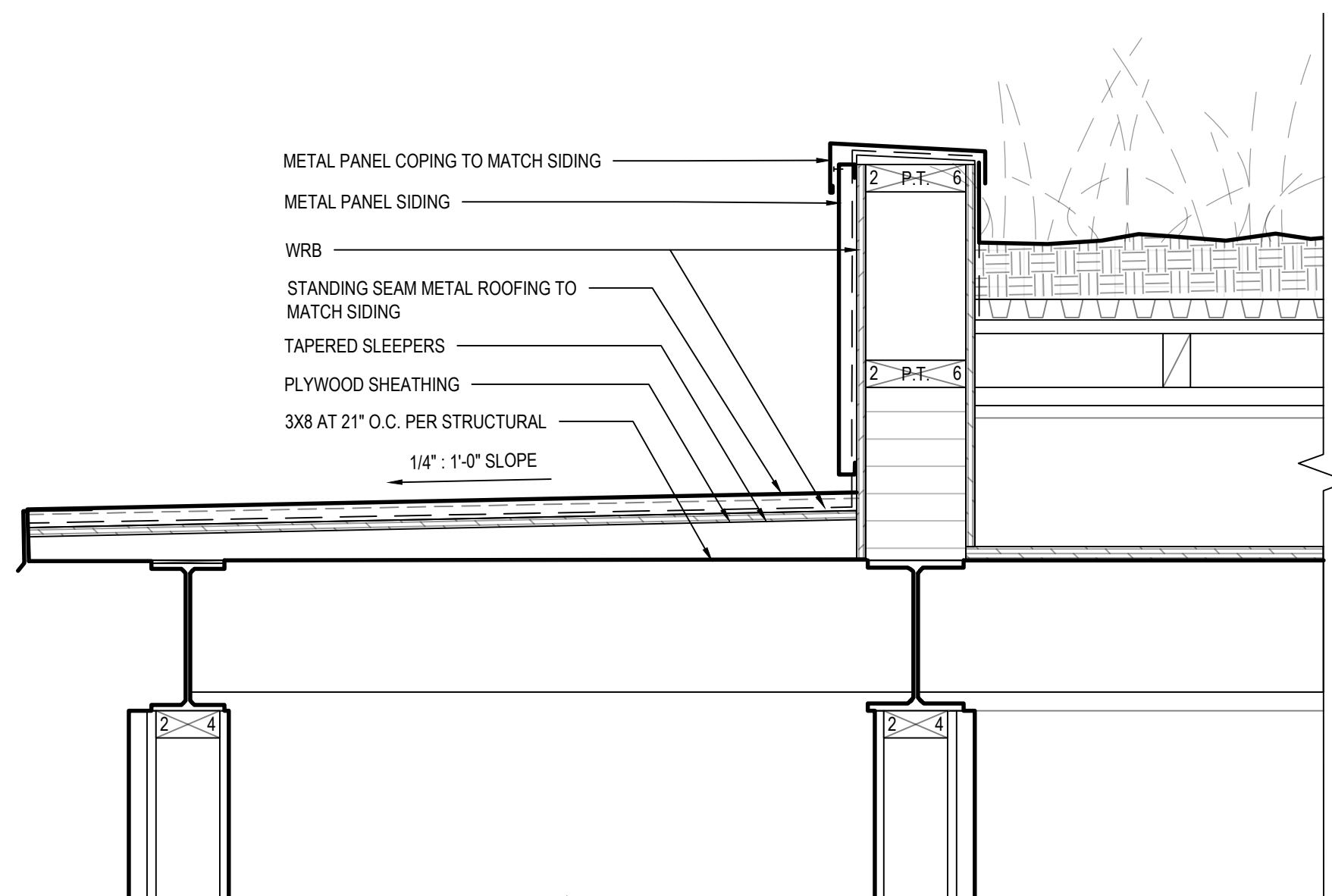
exterior details

A5.3



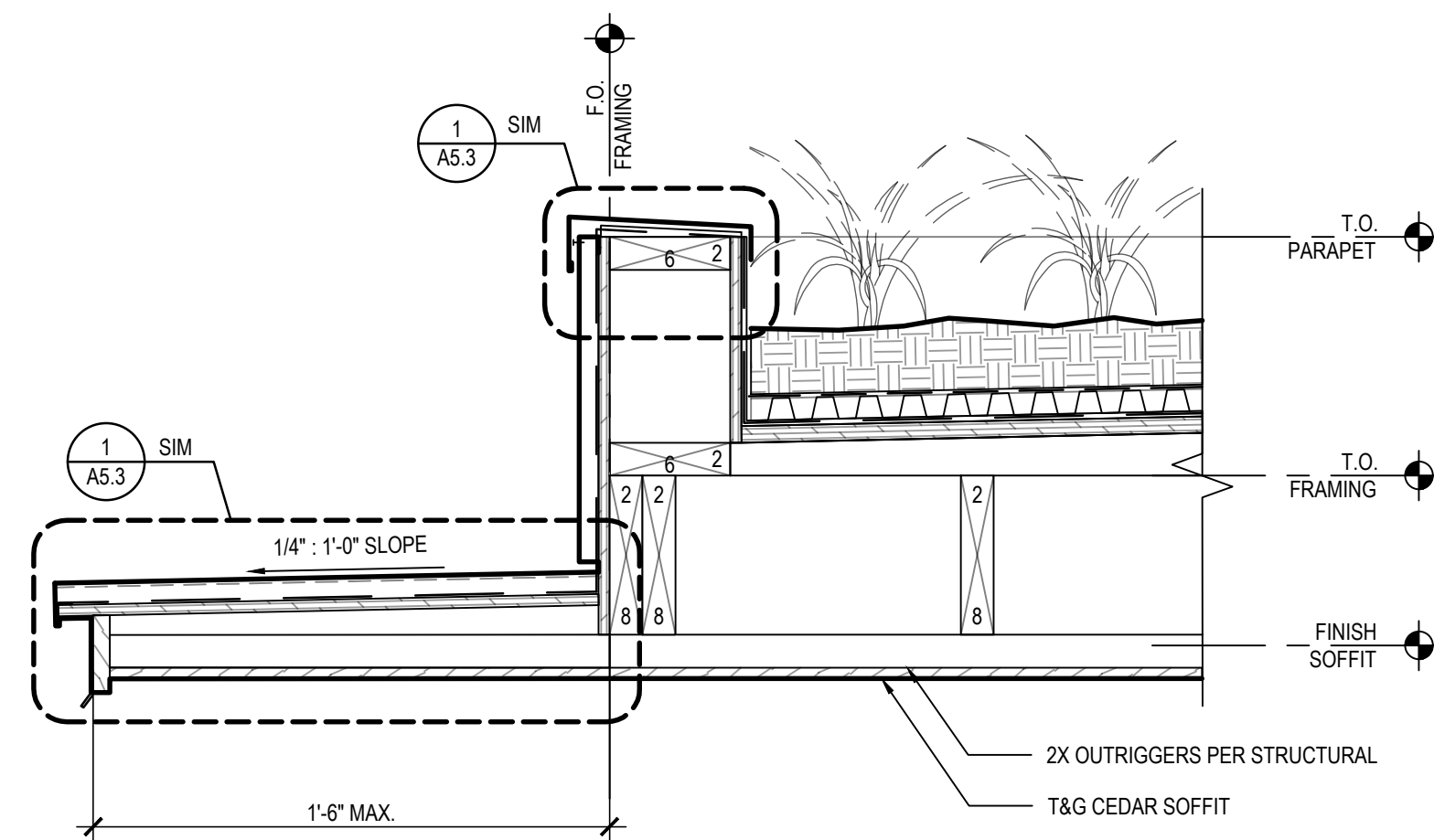
2 PLAN VIEW - UNDERSIDE OF SOFFIT

SCALE: 3"=1'-0"



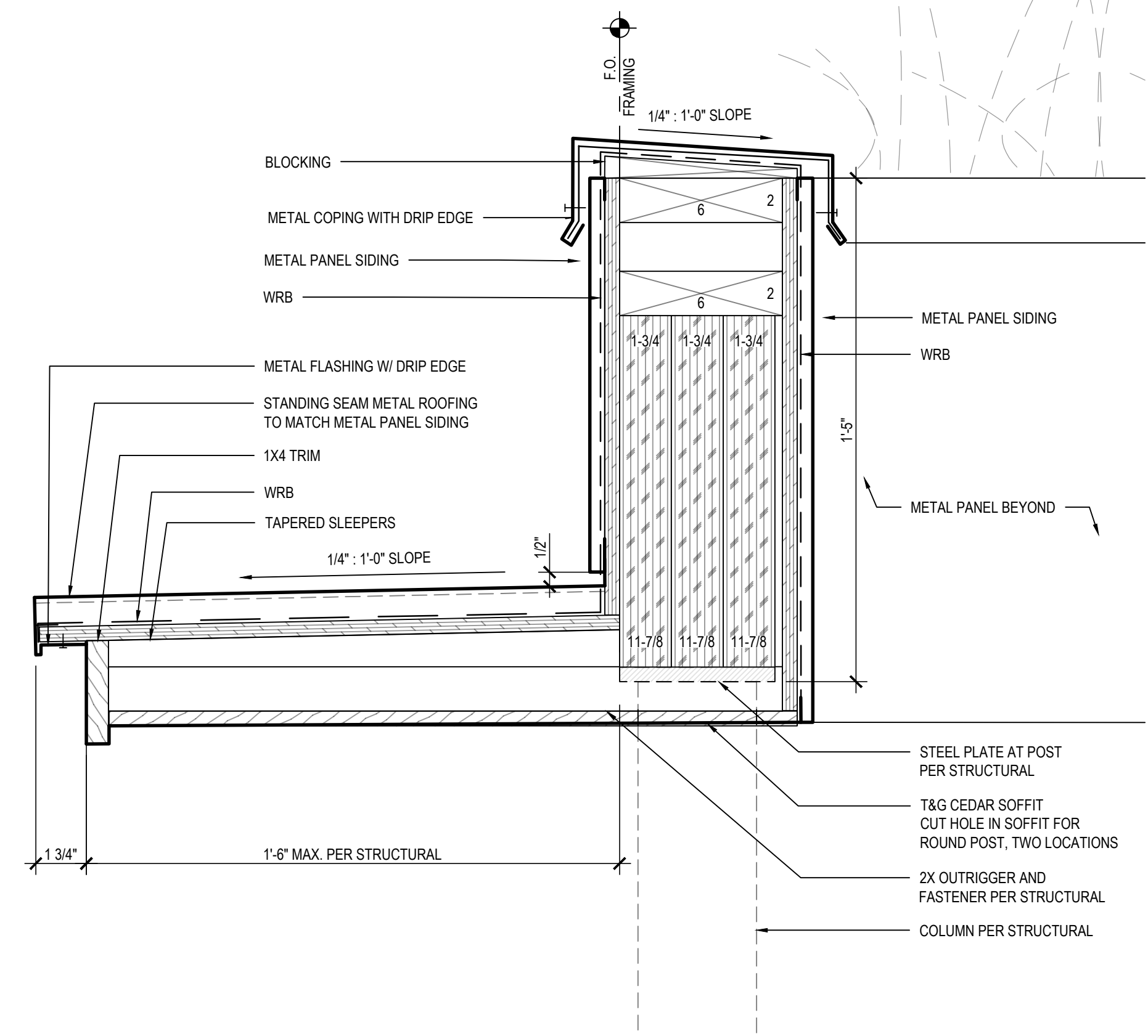
5 EXTENDED EAVE AT CARPORT

SCALE: 1 1/2"=1'-0"



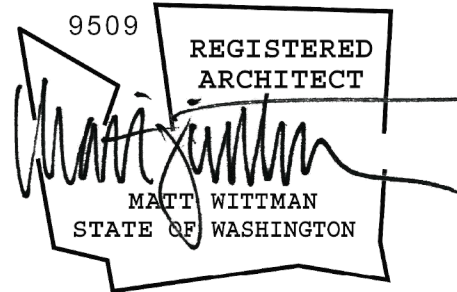
3 EXTENDED EAVE AT GREEN ROOF - OVER LIVING DECK

SCALE: 1 1/2"=1'-0"



1 EXTENDED EAVE AT GREEN ROOF VOID OVER LIVING DECK

SCALE: 3"=1'-0"



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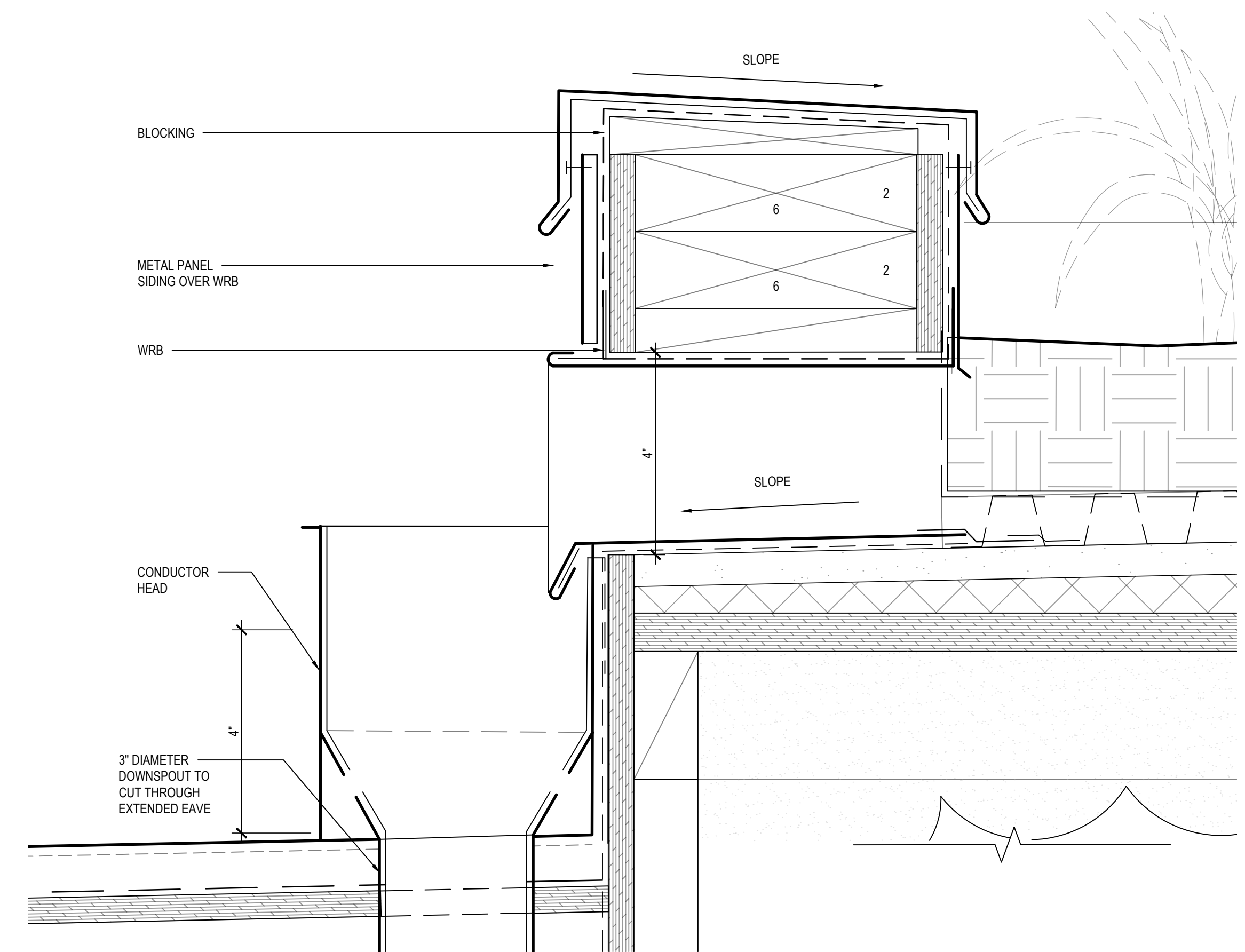
BUILDING PERMIT
ISSUE DATE: 8/30/2022

NO.	ISSUE	DATE
△	CITY REVISIONS	3.18.2022
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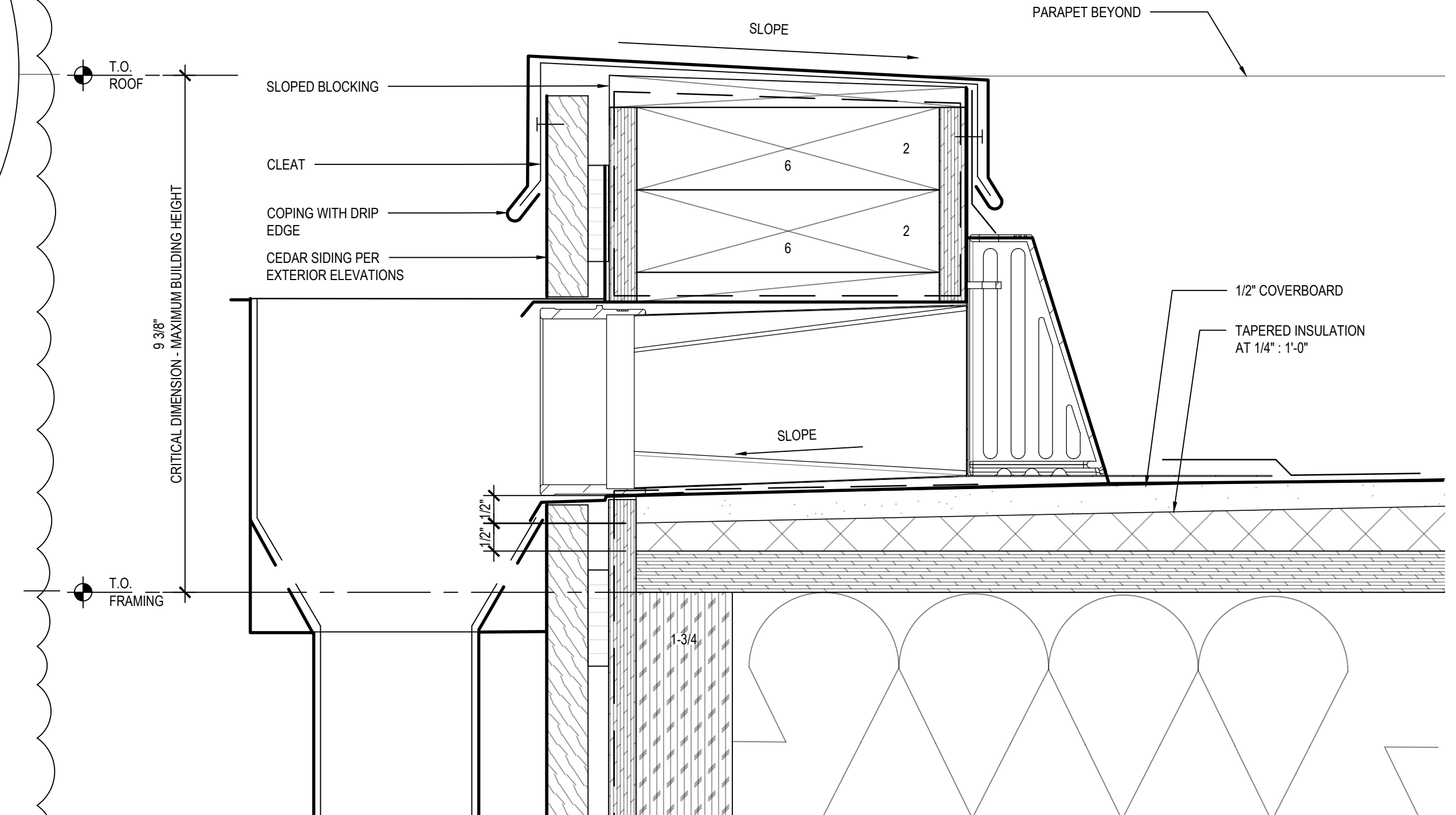
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CHECKED BY: MW

exterior details - roof

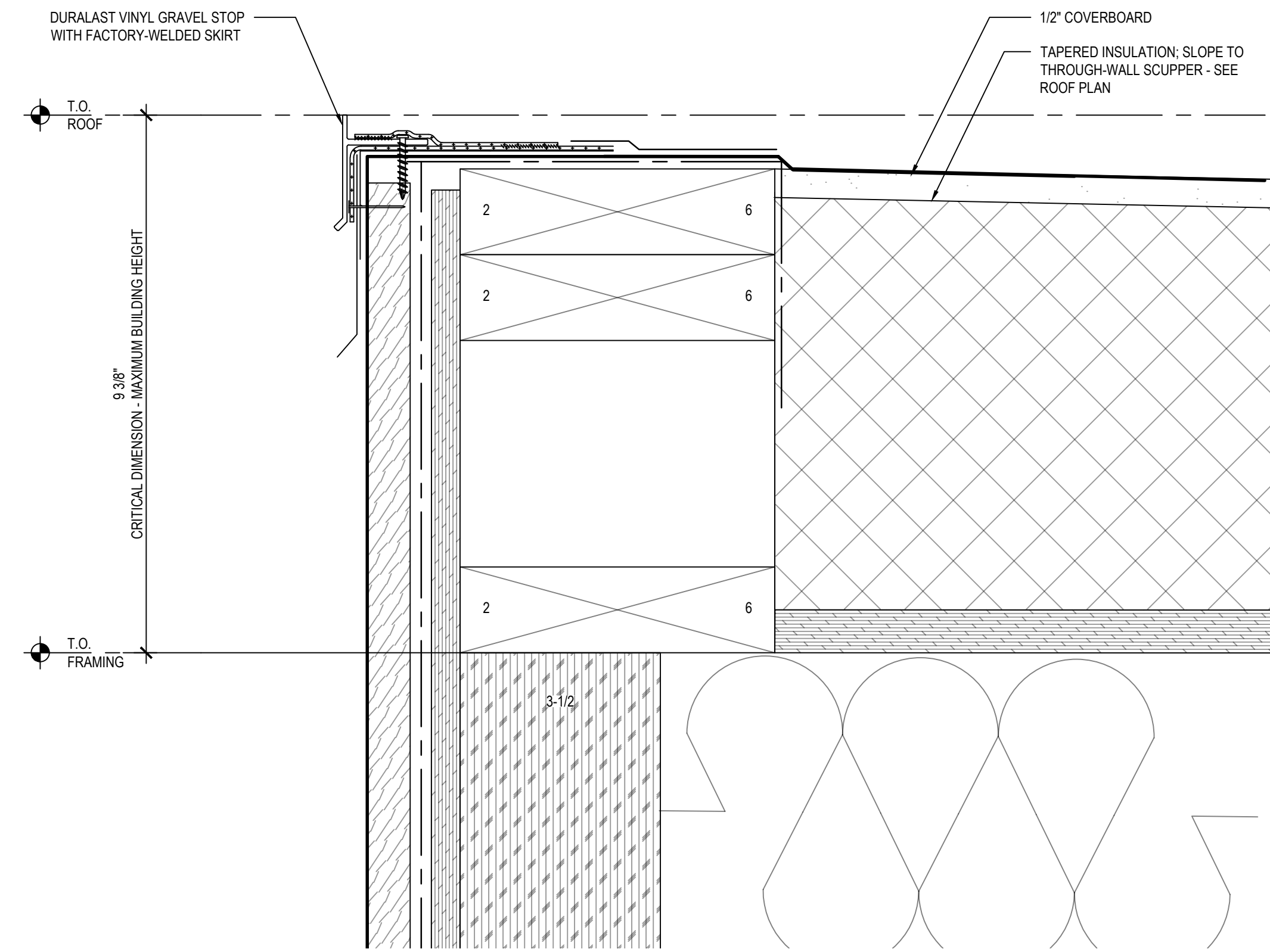
A5.4



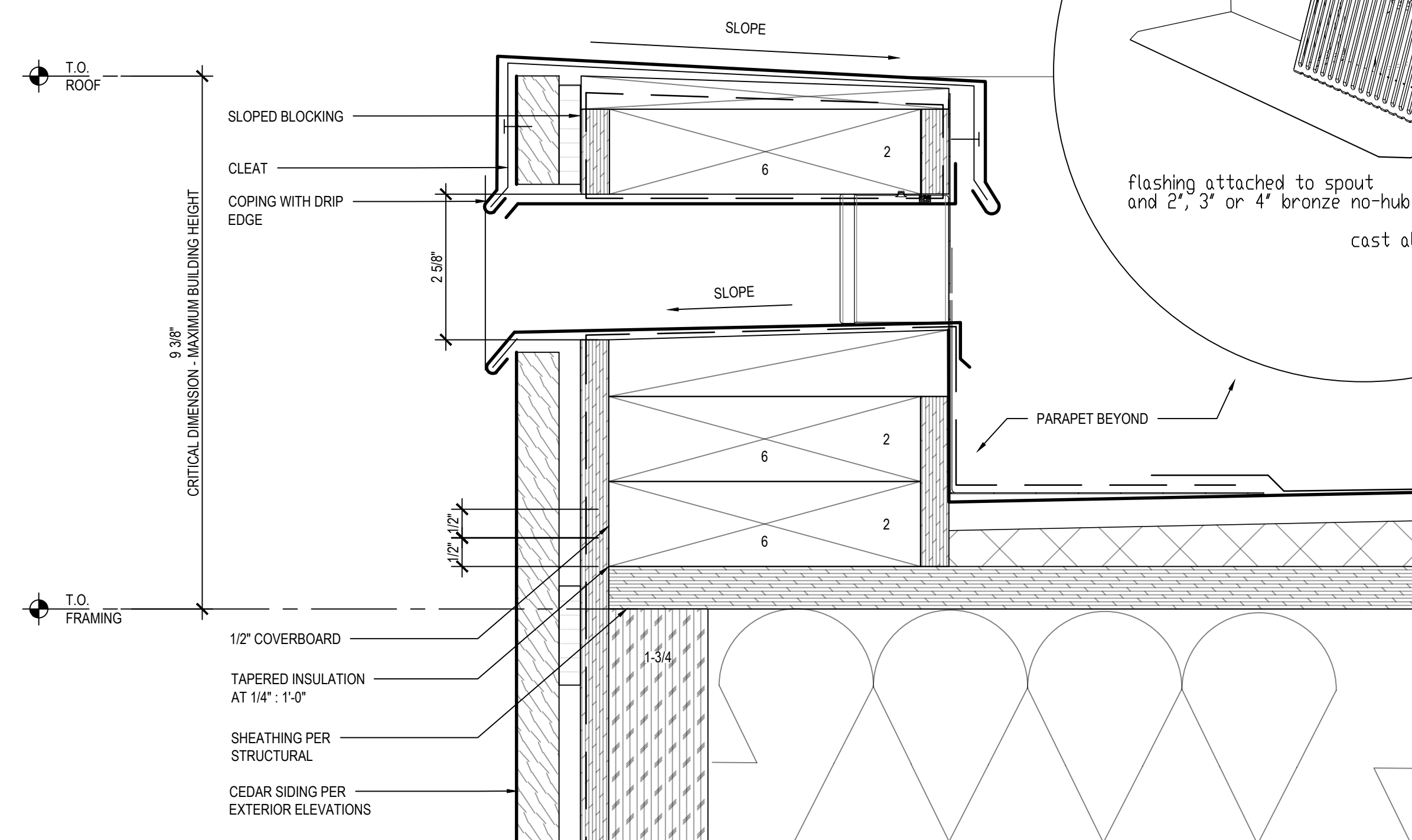
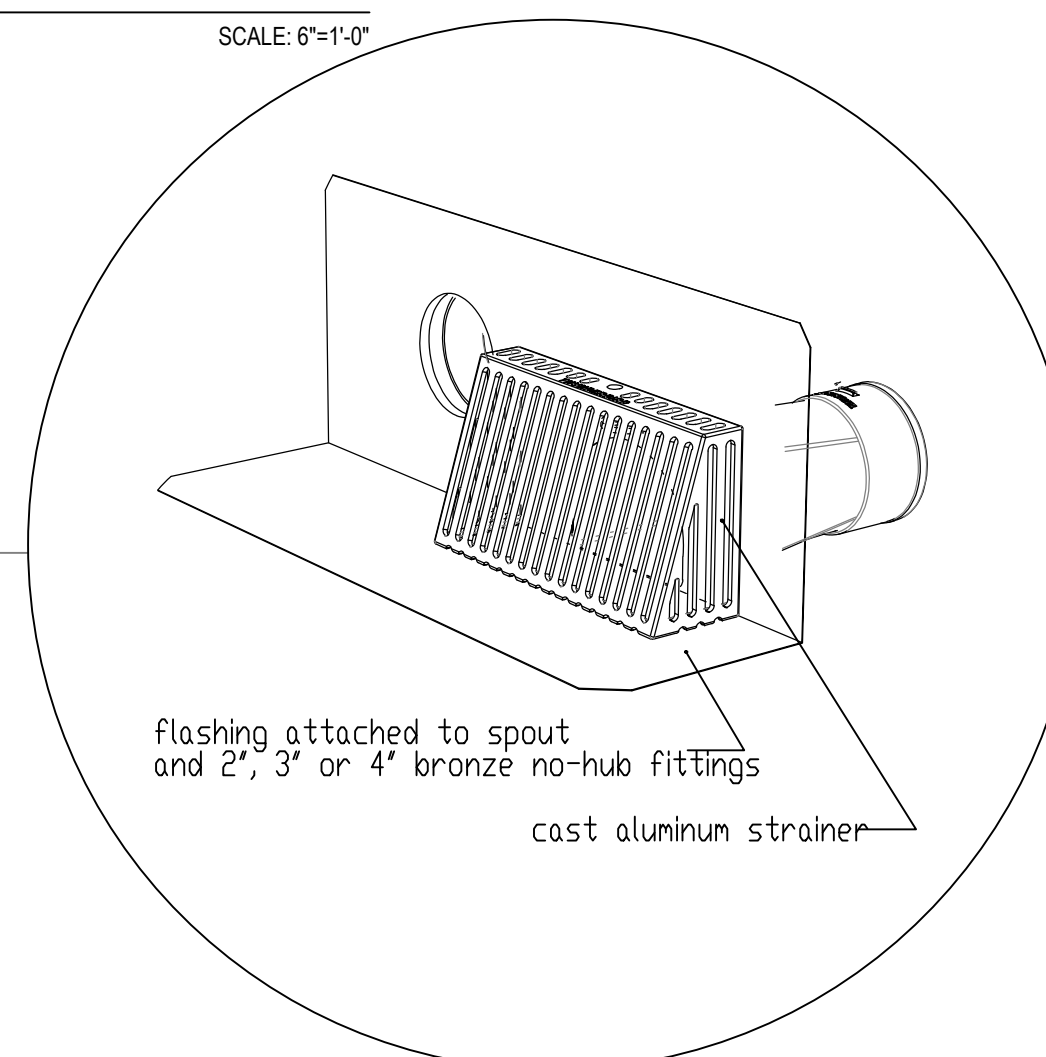
2 TYPICAL SCUPPER WITH CONDUCTOR HEAD AT GREEN ROOFS
SCALE: 3"=1'-0"



1 TYPICAL SCUPPER WITH CONDUCTOR HEAD
SCALE: 6"=1'-0"



4 ROOF EDGE DETAIL AT TAPERED INSULATION HIGH POINT
SCALE: 6"=1'-0"



3 TYPICAL OVERFLOW SCUPPER
SCALE: 6"=1'-0"

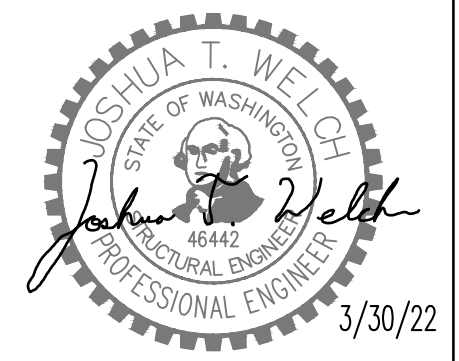
16D @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5D COOLER NAILS FOR 1/2" GWB AND 6D COOLER NAILS FOR 5/8" GWB. WHEN NOT OTHERWISE NOTED, PROVIDE 1/2" (NOM.) APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8D @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16D NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH METAL JOIST HANGERS IN ACCORDANCE WITH TIMBER CONNECTOR NOTE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16D @ 12" O.C. STAGGERED. UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16D @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.

JWelch
Engineering LLC

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Seattle Wa. 98118

Joshua T. Welch S.E.
jtwelch@gmail.com
tel 206.356.9553



MERCER GROVE

38XX W. MERCER WAY
MERCER ISLAND, WA 98040

Architect
WITTMAN ESTES

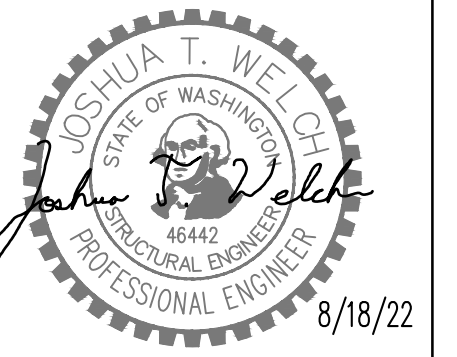
5628 Airport Way S Ste 165
Seattle, WA 98106

Issue	
1. 10/13/21	PERMIT _____
2. 3/30/22	CORRECTIONS _____
3.	_____
4.	_____
5.	_____

Print Date
3/30/22

Drawing Title
GENERAL STRUCTURAL NOTES

Drawing Number
S1.1



FOUNDATION PLAN NOTES

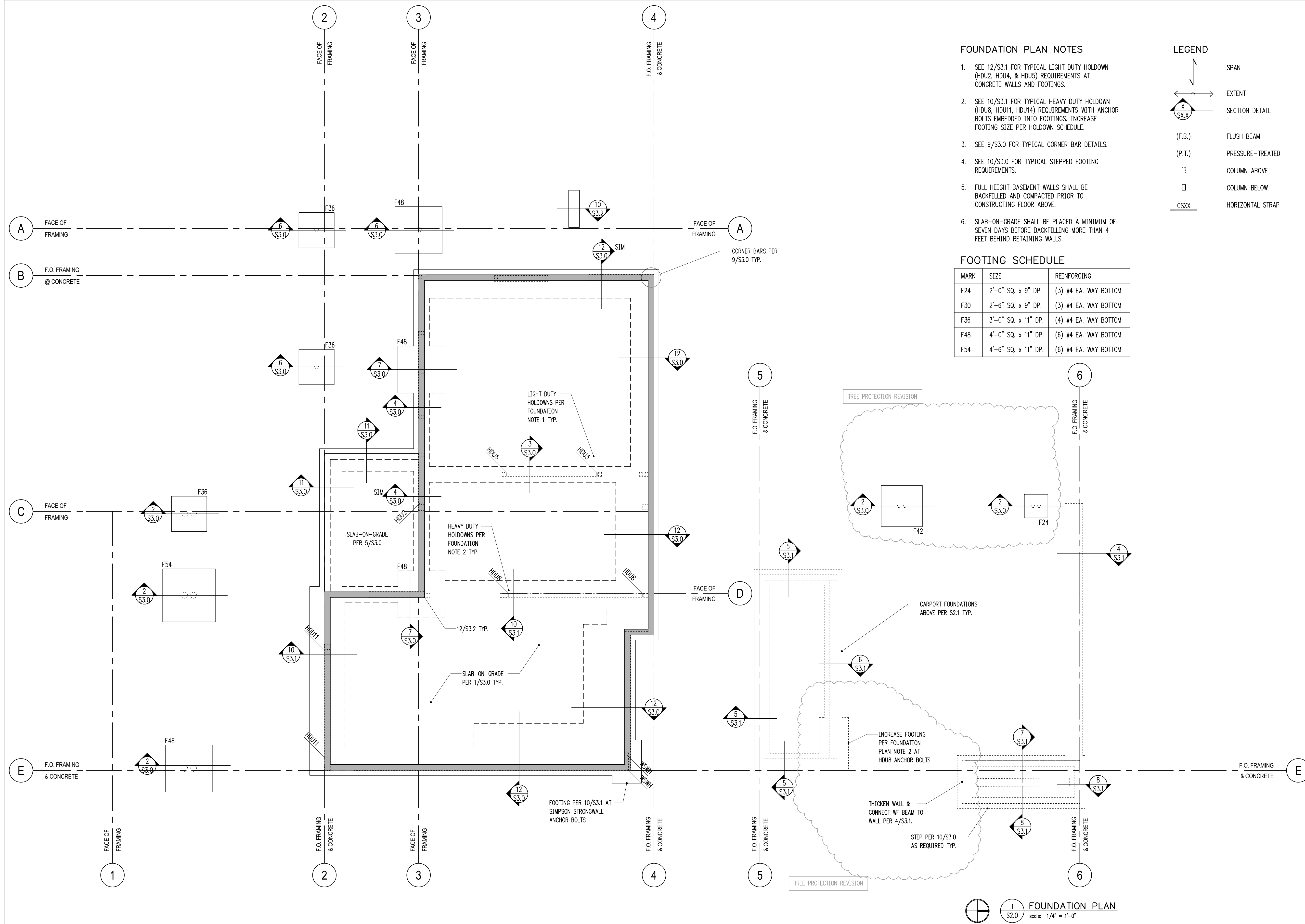
- SEE 12/S3.1 FOR TYPICAL LIGHT DUTY HOLDOWN (HDU2, HDU4, & HDU5) REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
- SEE 10/S3.1 FOR TYPICAL HEAVY DUTY HOLDOWN (HDUB, HDU11, HDU14) REQUIREMENTS WITH ANCHOR BOLTS EMBEDDED INTO FOOTINGS. INCREASE FOOTING SIZE PER HOLDOWN SCHEDULE.
- SEE 9/S3.0 FOR TYPICAL CORNER BAR DETAILS.
- SEE 10/S3.0 FOR TYPICAL STEPPED FOOTING REQUIREMENTS.
- FULL HEIGHT BASEMENT WALLS SHALL BE BACKFILLED AND COMPACTED PRIOR TO CONSTRUCTING FLOOR ABOVE.
- SLAB-ON-GRADE SHALL BE PLACED A MINIMUM OF SEVEN DAYS BEFORE BACKFILLING MORE THAN 4 FEET BEHIND RETAINING WALLS.

LEGEND

- SPAN
- EXTENT
- SECTION DETAIL
- (F.B.) FLUSH BEAM
- (P.T.) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- CSXX

FOOTING SCHEDULE

MARK	SIZE	REINFORCING
F24	2'-0" SQ. x 9" DP.	(3) #4 EA. WAY BOTTOM
F30	2'-6" SQ. x 9" DP.	(3) #4 EA. WAY BOTTOM
F36	3'-0" SQ. x 11" DP.	(4) #4 EA. WAY BOTTOM
F48	4'-0" SQ. x 11" DP.	(6) #4 EA. WAY BOTTOM
F54	4'-6" SQ. x 11" DP.	(6) #4 EA. WAY BOTTOM



FOUNDATION PLAN
scale: 1/4" = 1'-0"

MERCER GROVE

38XX W. MERCER WAY
MERCER ISLAND, WA 98040

Architect
WITTMAN ESTES

5628 Airport Way S Ste 165
Seattle, WA 98106

Issue

1.	10/13/21	PERMIT
2.	3/30/22	CORRECTIONS
3.	8/18/22	TREE PROTECTION REV.
4.		
5.		

Print Date
8/18/22

Drawing Title
FOUNDATION PLAN

Drawing Number
S2.0

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x6	LUS26	10d COMMON	830 lb
(2)2x6	HU26-2 (MAX)	16d	1540 lb
2x8	LUS28	10d COMMON	1055 lb
(2)2x8	HUC28-2 (MAX)	16d	1490 lb
9/2" TJI 110	IUS1.81/9.5	10d COMMON	935 lb
1-3/4x11/8 LSL	HUC11	16d	3275 lb
3/2x11/8 LSL	HUC412 MAX.	16d	3275 lb
11/8" TJI 110	IUS1.81/11.88	10d COMMON	1170 lb
11/8" TJI 360	IUS2.37/11.88	10d COMMON	1170 lb
5/8x2 1/2 PSL	HUC612-SDS	1/4"x2 1/2" SDS	5185 lb

SEFRAMING OR HANGERS NOT SHOWN HERE OR CONTACT ENGINEER. HANGERS WITH (MAX) DESIGNATES ALL ROUND AND TRIANGLE HOLES TO BE USED FOR NAILING.

F.O. FRAMING @ CONCRETE

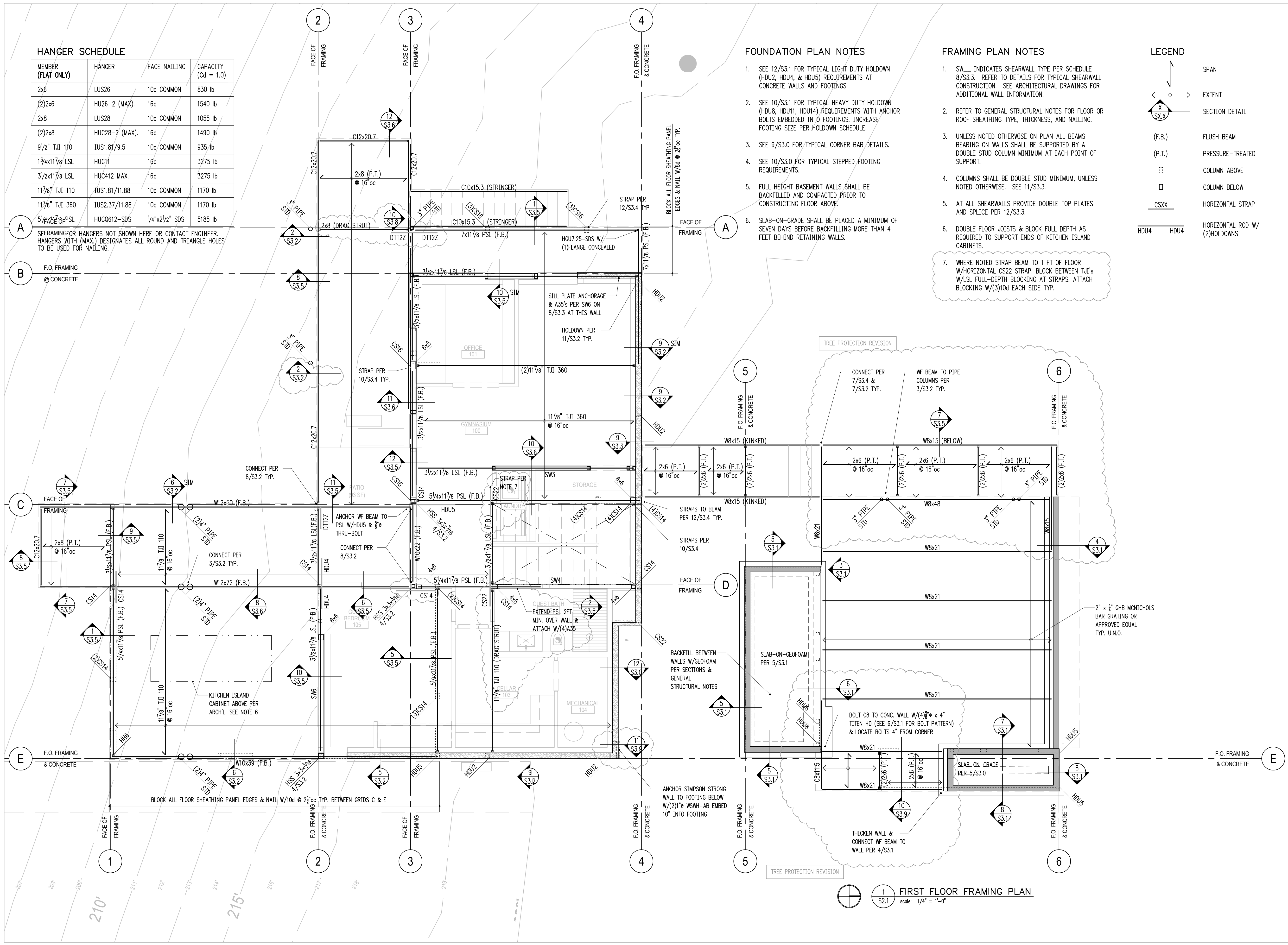
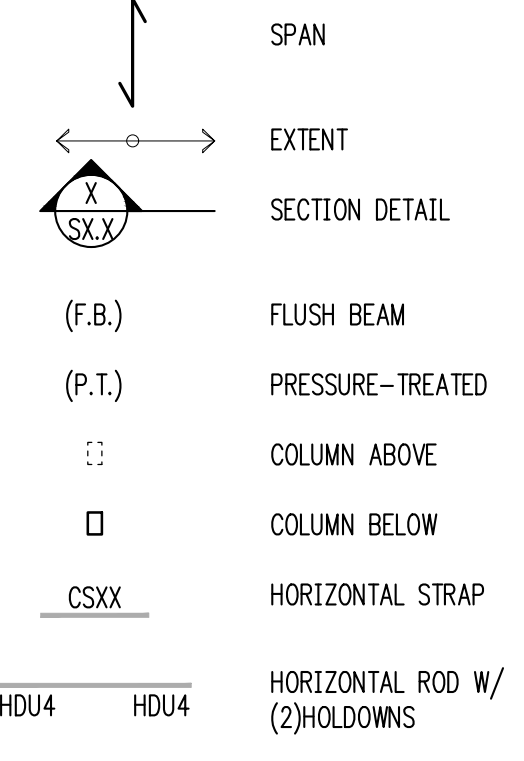
FOUNDATION PLAN NOTES

- SEE 12/S3.1 FOR TYPICAL LIGHT DUTY HOLDOWN (HDU2, HDU4, & HDU5) REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
- SEE 10/S3.1 FOR TYPICAL HEAVY DUTY HOLDOWN (HDU8, HDU11, HDU14) REQUIREMENTS WITH ANCHOR BOLTS EMBEDDED INTO FOOTINGS. INCREASE FOOTING SIZE PER HOLDOWN SCHEDULE.
- SEE 9/S3.0 FOR TYPICAL CORNER BAR DETAILS.
- SEE 10/S3.0 FOR TYPICAL STEPPED FOOTING REQUIREMENTS.
- FULL HEIGHT BASEMENT WALLS SHALL BE BACKFILLED AND COMPACTED PRIOR TO CONSTRUCTING FLOOR ABOVE.
- SLAB-ON-GRADE SHALL BE PLACED A MINIMUM OF SEVEN DAYS BEFORE BACKFILLING MORE THAN 4 FEET BEHIND RETAINING WALLS.

FRAMING PLAN NOTES

- SW... INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.3. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- UNLESS NOTED OTHERWISE ON PLAN ALL BEAMS BEARING ON WALLS SHALL BE SUPPORTED BY A DOUBLE STUD COLUMN MINIMUM AT EACH POINT OF SUPPORT.
- COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.3.
- AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.3.
- DOUBLE FLOOR JOISTS & BLOCK FULL DEPTH AS REQUIRED TO SUPPORT ENDS OF KITCHEN ISLAND CABINETS.
- WHERE NOTED STRAP BEAM TO 1 FT OF FLOOR W/HORIZONTAL CS22 STRAP. BLOCK BETWEEN TJI'S W/LSL FULL-DEPTH BLOCKING AT STRAPS. ATTACH BLOCKING W/(3)10d EACH SIDE TYP.

LEGEND



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 tel 206.356.9553

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 MERCER ISLAND, WA. 98040

Architect
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 5628 Airport Way S Ste 165
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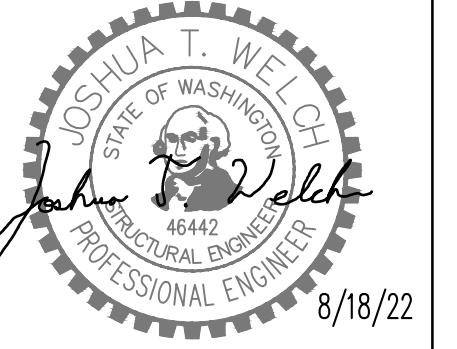
Issue
 1. 10/13/21 PERMIT
 2. 3/30/22 CORRECTIONS
 3. 8/18/22 TREE PROTECTION REV.
 4.
 5.

Print Date
 8/18/22

Drawing Title
FIRST FLOOR FRAMING PLAN

Drawing Number
S2.1

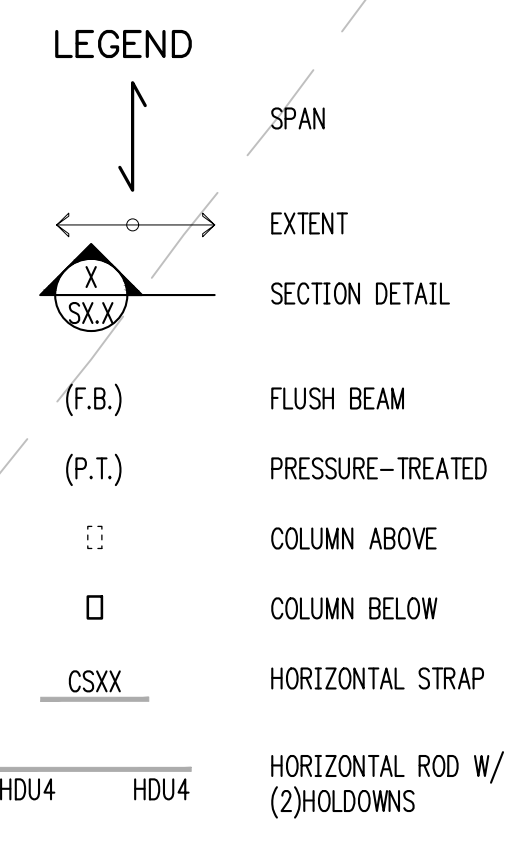
1 FIRST FLOOR FRAMING PLAN
 S2.1
 scale: 1/4" = 1'-0"



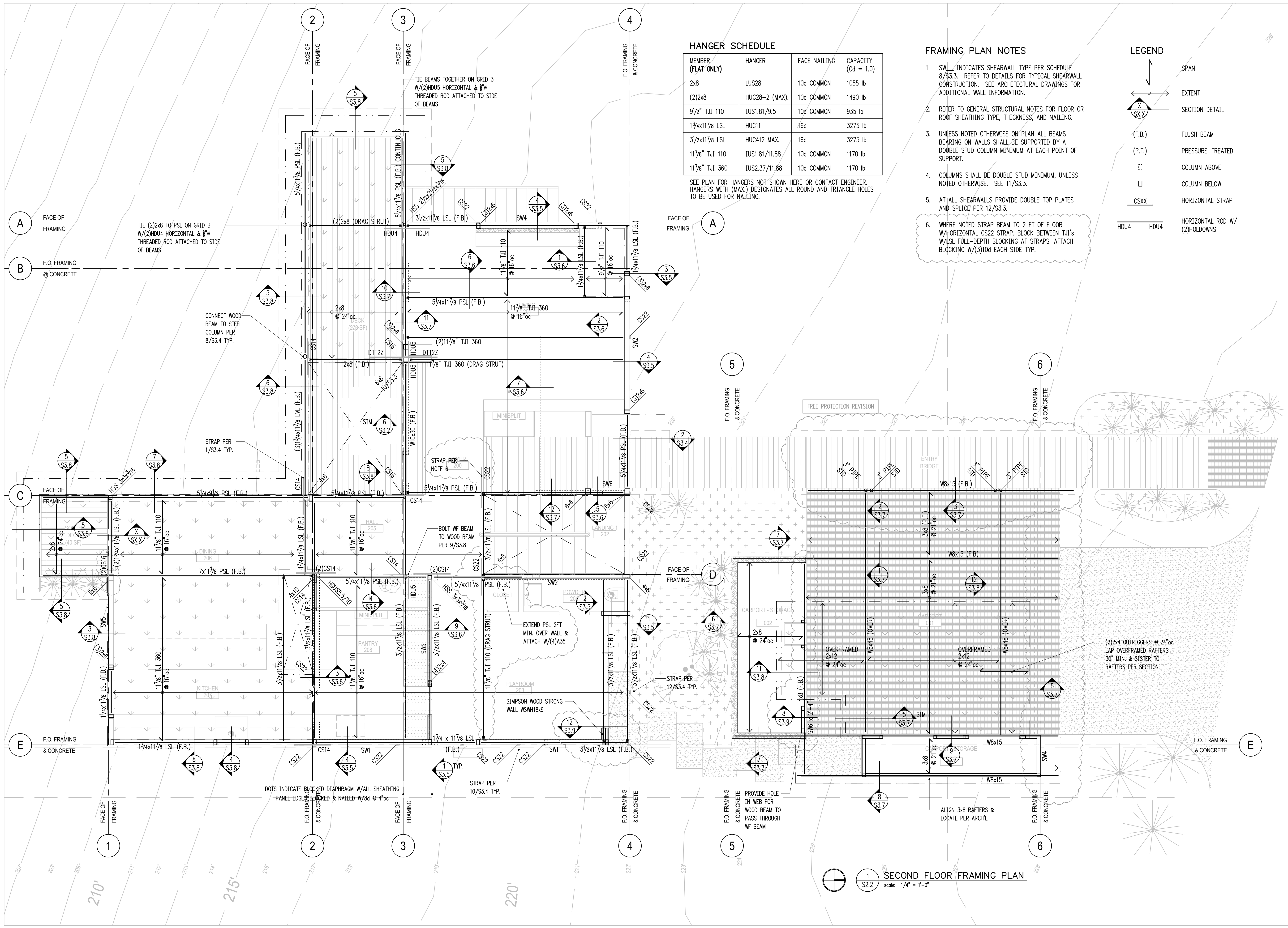
HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x8	LUS28	10d COMMON	1055 lb
(2)2x8	HUC28-2 (MAX)	10d COMMON	1490 lb
9/2" TJI 110	IUS1.81/9.5	10d COMMON	935 lb
1 3/4x11 7/8 LSL	HUC11	16d	3275 lb
3/2x11 7/8 LSL	HUC412 MAX.	16d	3275 lb
11 7/8" TJI 110	IUS1.81/11.88	10d COMMON	1170 lb
11 7/8" TJI 360	IUS2.37/11.88	10d COMMON	1170 lb

- FRAMING PLAN NOTES**
- SW indicates SHEARWALL TYPE PER SCHEDULE 8/S3.3. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
 - REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
 - UNLESS NOTED OTHERWISE ON PLAN ALL BEAMS BEARING ON WALLS SHALL BE SUPPORTED BY A DOUBLE STUD COLUMN MINIMUM AT EACH POINT OF SUPPORT.
 - COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.3.
 - AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.3.
 - WHERE NOTED STRAP BEAM TO 2 FT OF FLOOR W/HORIZONTAL CS22 STRAP, BLOCK BETWEEN TJI'S W/LSL FULL-DEPTH BLOCKING AT STRAPS. ATTACH BLOCKING W/(3)10d EACH SIDE TYP.



SEE PLAN FOR HANGERS NOT SHOWN HERE OR CONTACT ENGINEER. HANGERS WITH (MAX.) DESIGNATES ALL ROUND AND TRIANGLE HOLES TO BE USED FOR NAILING.



1 SECOND FLOOR FRAMING PLAN
scale: 1/4" = 1'-0"

MERCER GROVE

38XX W. MERCER WAY
MERCER ISLAND, WA. 98040

Architect
WITTMAN ESTES

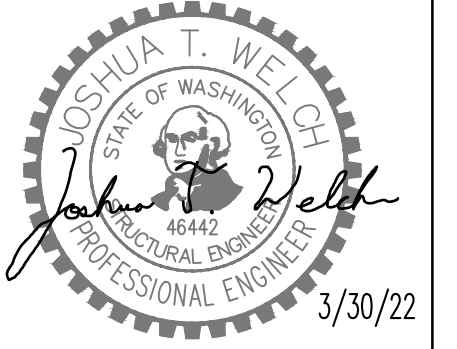
5628 Airport Way S Ste 165
Seattle, WA 98106

- Issue**
1. 10/13/21 PERMIT
 2. 3/30/22 CORRECTIONS
 3. 8/18/22 TREE PROTECTION REV.
 - 4.
 - 5.

Print Date
8/18/22

Drawing Title
SECOND FLOOR FRAMING PLAN

Drawing Number
S2.2



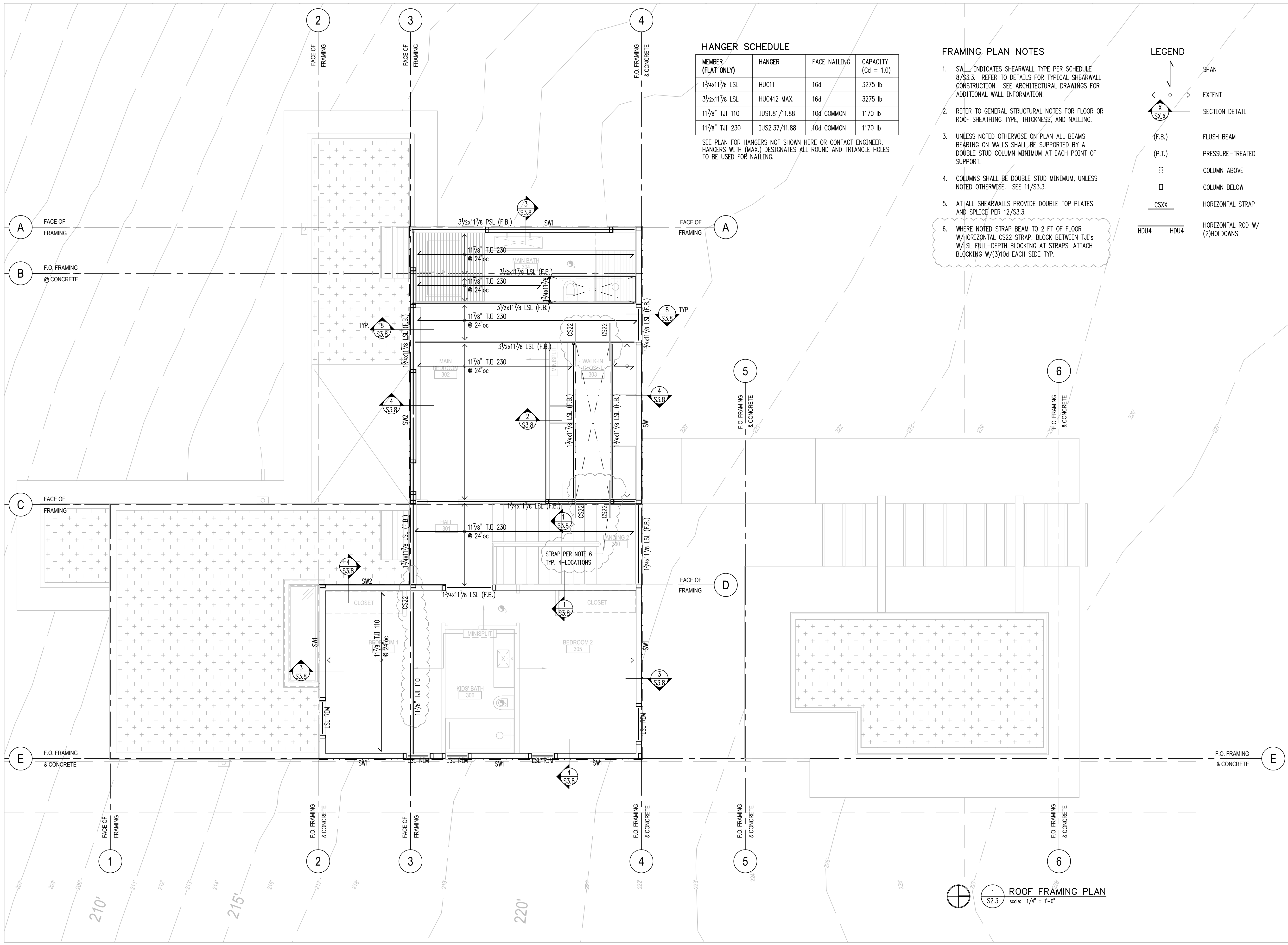
HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
1 3/4x11 7/8 LSL	HUC11	16d	3275 lb
3 1/2x11 7/8 LSL	HUC412 MAX.	16d	3275 lb
11 7/8" TJI 110	IUS1.81/11.88	10d COMMON	1170 lb
11 7/8" TJI 230	IUS2.37/11.88	10d COMMON	1170 lb

SEE PLAN FOR HANGERS NOT SHOWN HERE OR CONTACT ENGINEER. HANGERS WITH (MAX.) DESIGNATES ALL ROUND AND TRIANGLE HOLES TO BE USED FOR NAILING.

- FRAMING PLAN NOTES**
- SWL INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.3. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
 - REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
 - UNLESS NOTED OTHERWISE ON PLAN ALL BEAMS BEARING ON WALLS SHALL BE SUPPORTED BY A DOUBLE STUD COLUMN MINIMUM AT EACH POINT OF SUPPORT.
 - COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.3.
 - AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.3.
 - WHERE NOTED STRAP BEAM TO 2 FT OF FLOOR W/HORIZONTAL CS22 STRAP, BLOCK BETWEEN TJI'S W/LSL FULL-DEPTH BLOCKING AT STRAPS. ATTACH BLOCKING W/(3)10d EACH SIDE TYP.

- LEGEND**
- SPAN
 - EXTENT
 - SECTION DETAIL
 - (F.B.) FLUSH BEAM
 - (P.T.) PRESSURE-TREATED
 - ∴ COLUMN ABOVE
 - COLUMN BELOW
 - CSXX HORIZONTAL STRAP
 - HDU4 HDU4
 - HORIZONTAL ROD W/ (2)HOLDDOWNS



1 ROOF FRAMING PLAN
S2.3 scale: 1/4" = 1'-0"

MERCER GROVE

38XX W. MERCER WAY
MERCER ISLAND, WA 98040

Architect
WITTMAN ESTES

5628 Airport Way S Ste 165
Seattle, WA 98106

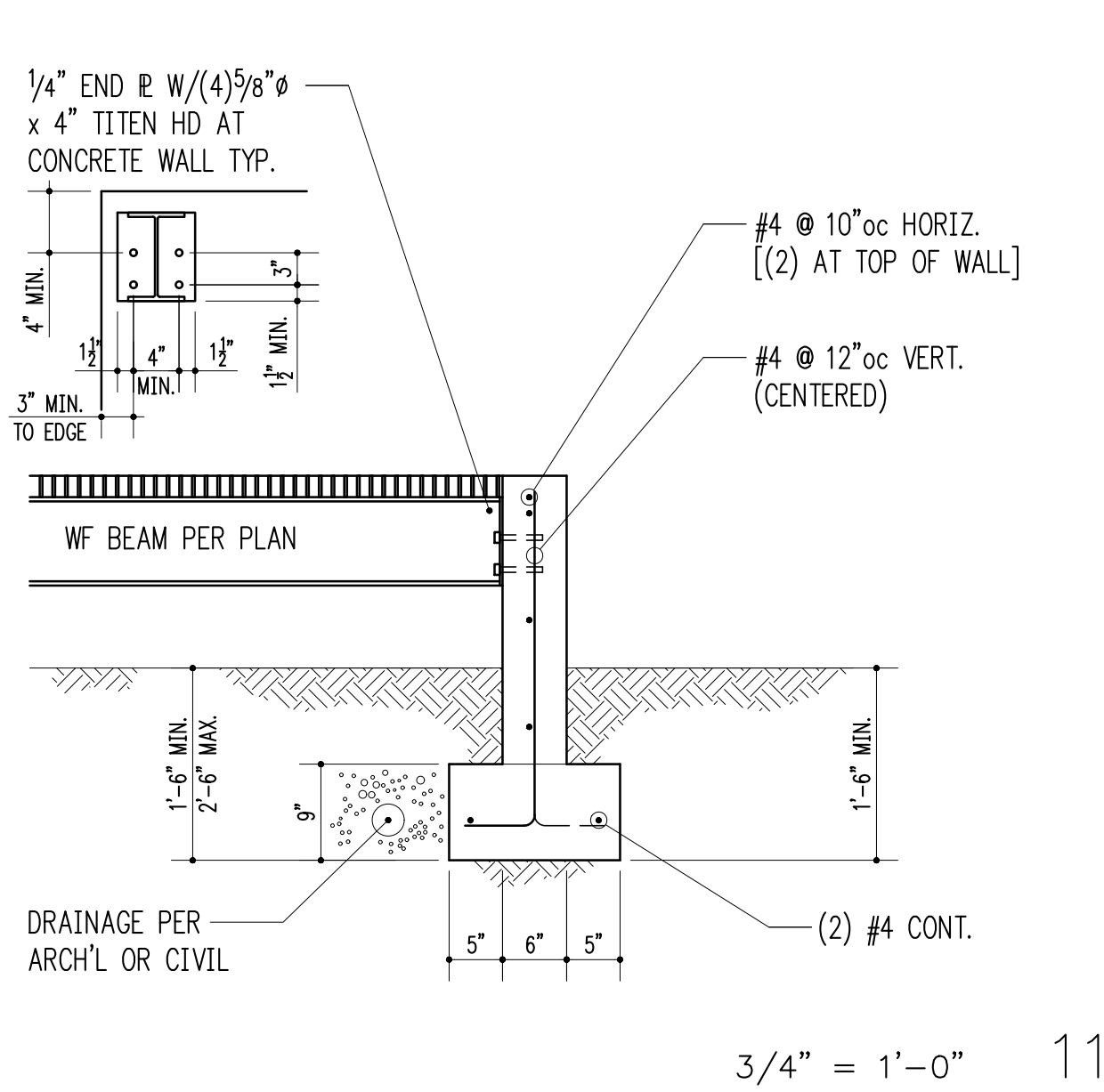
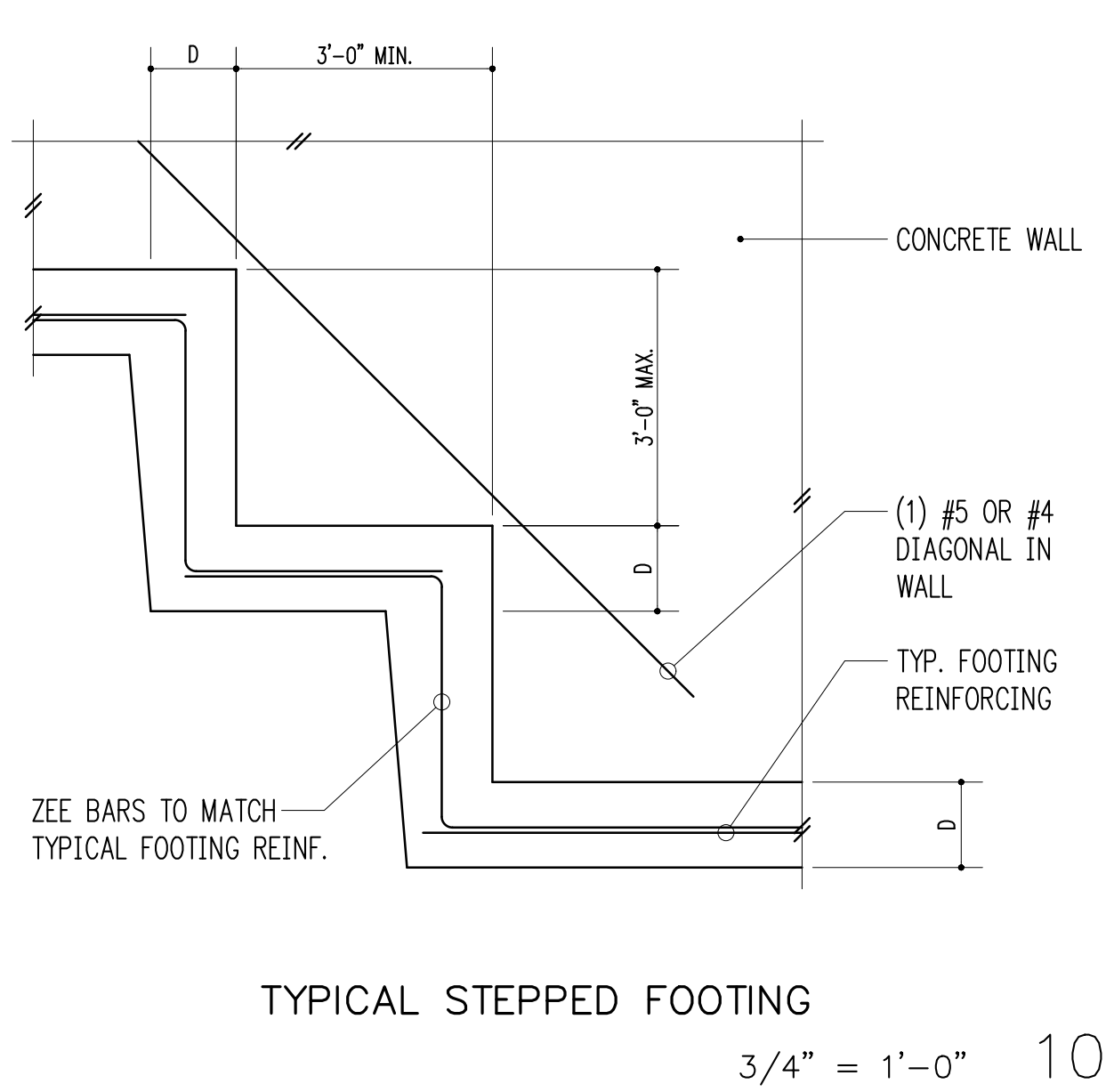
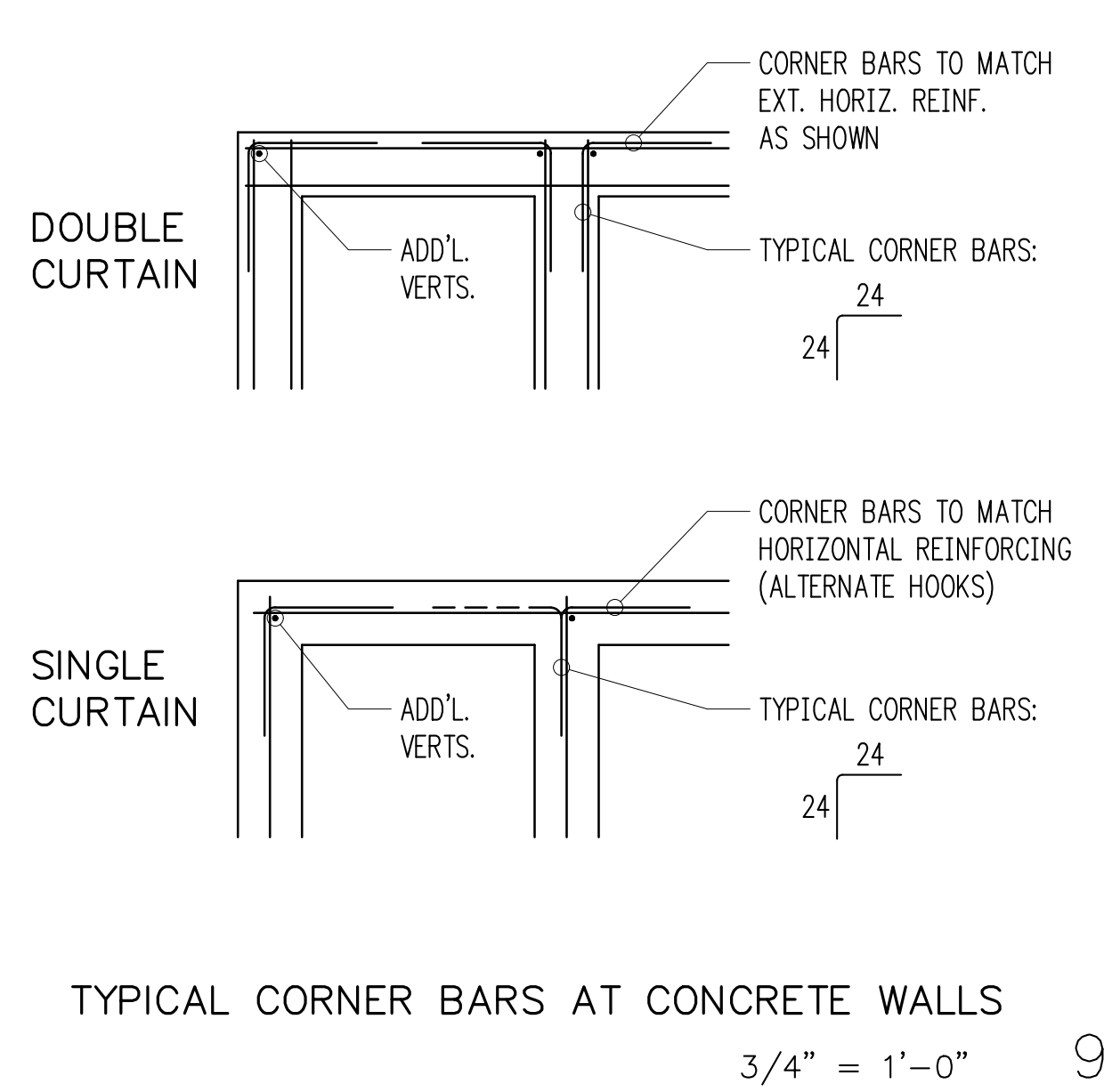
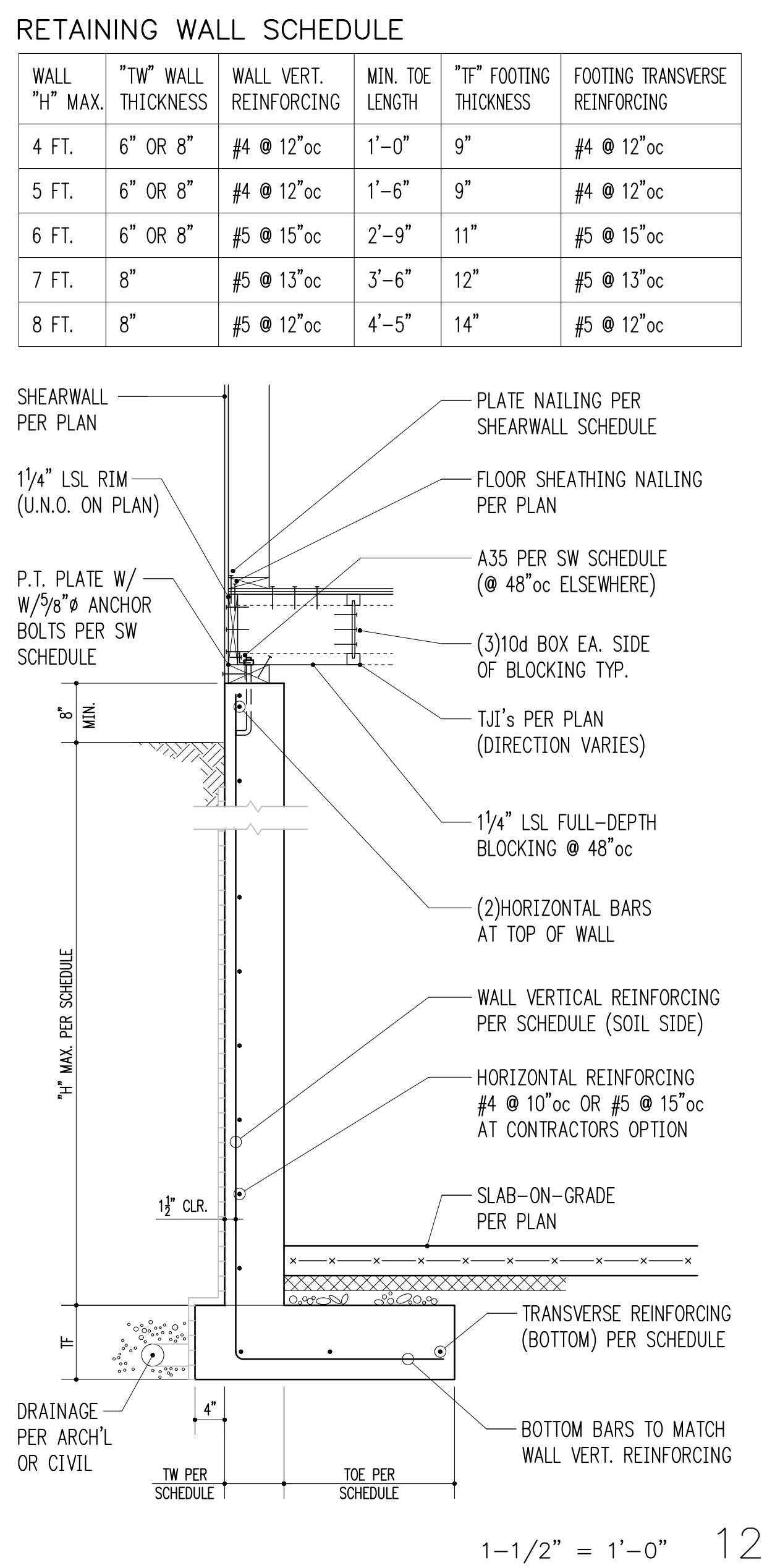
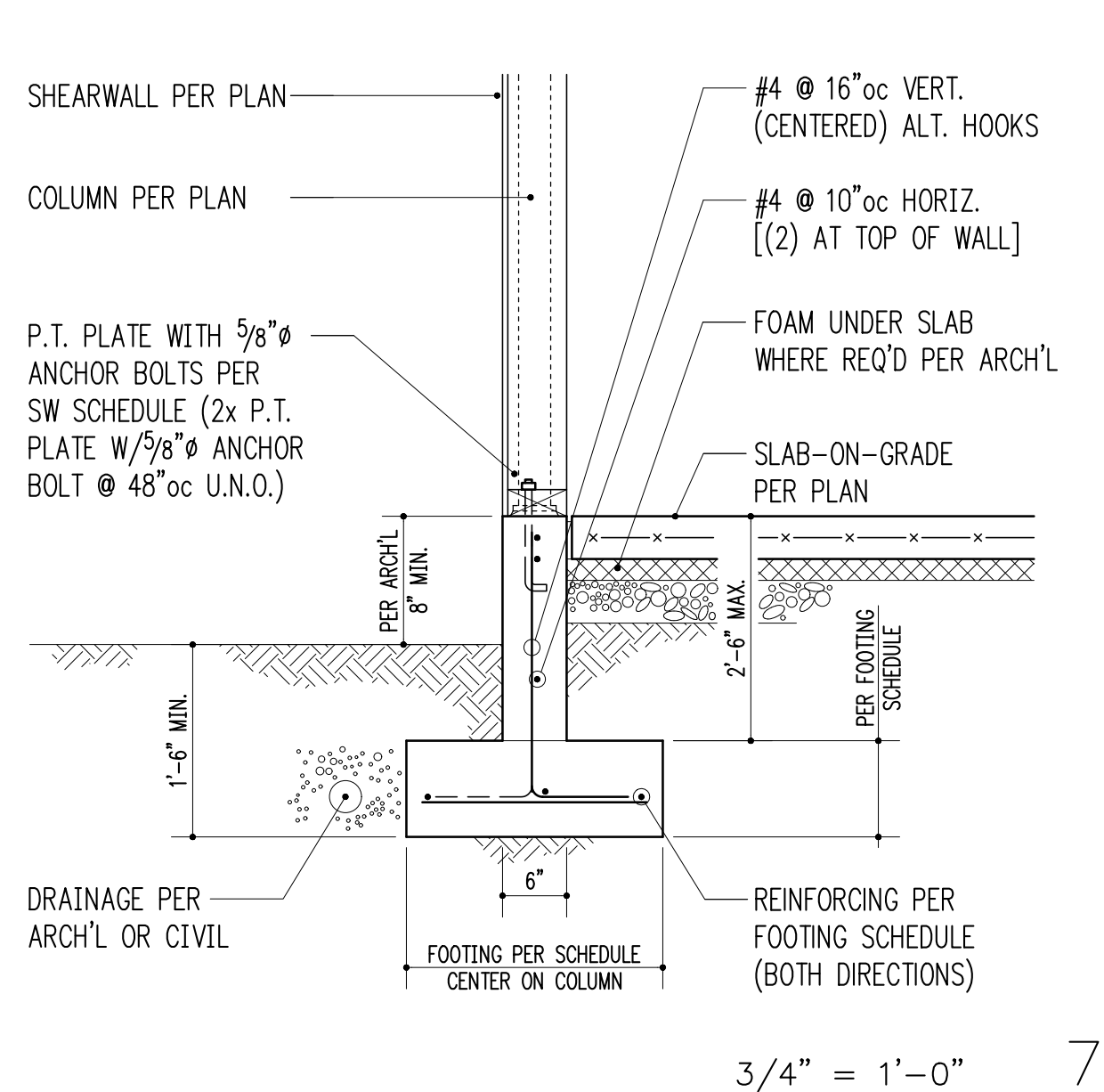
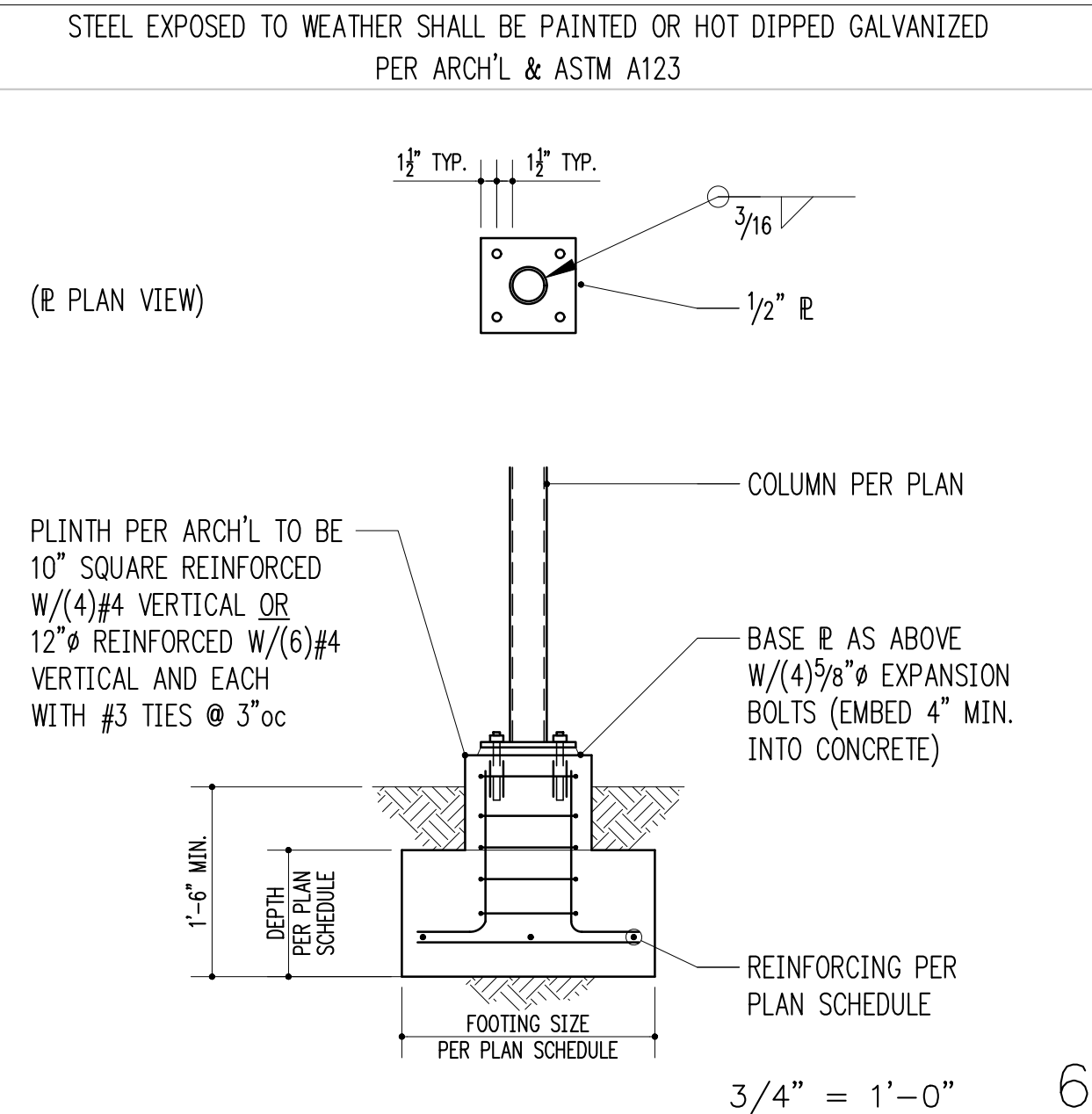
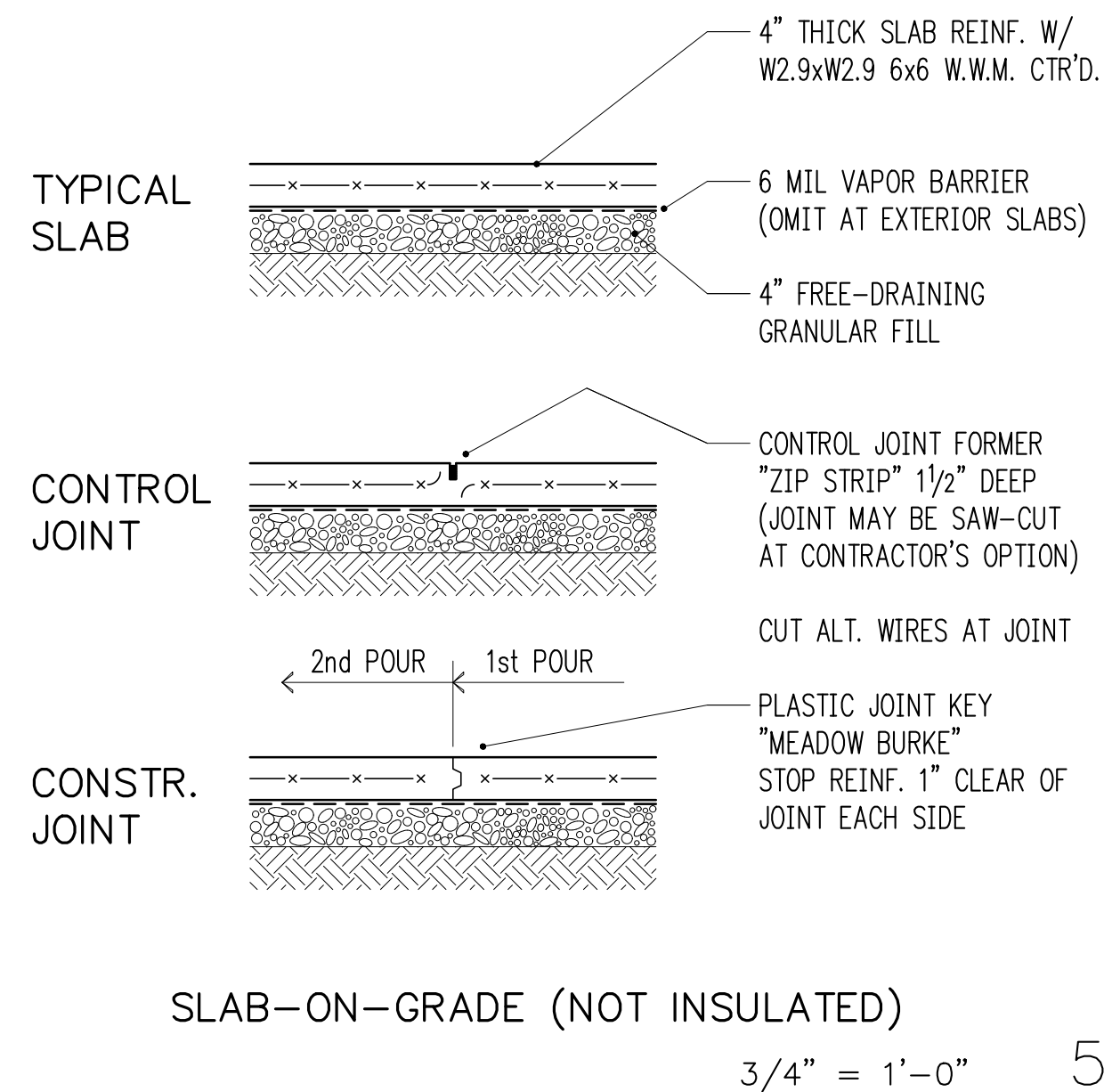
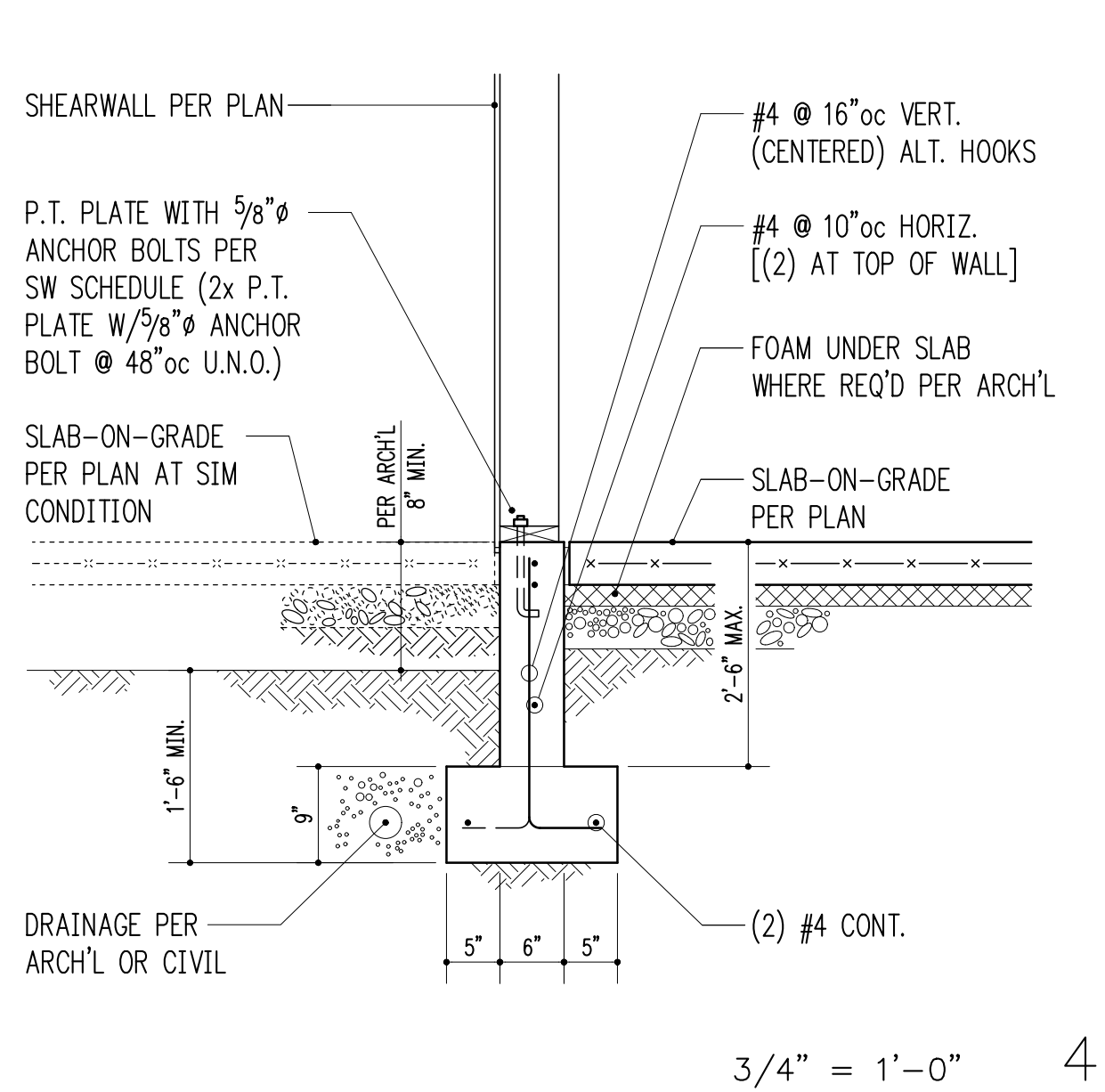
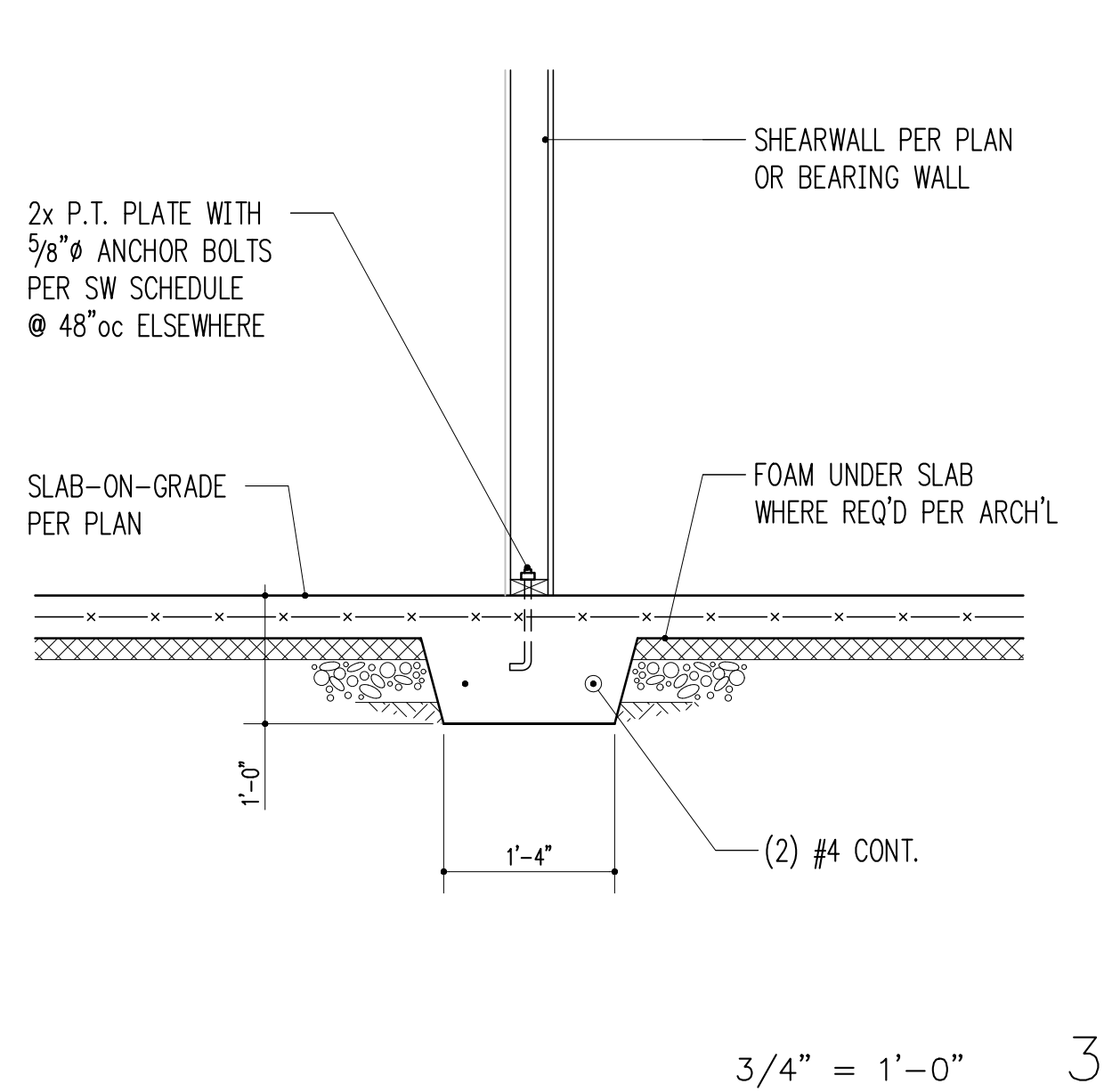
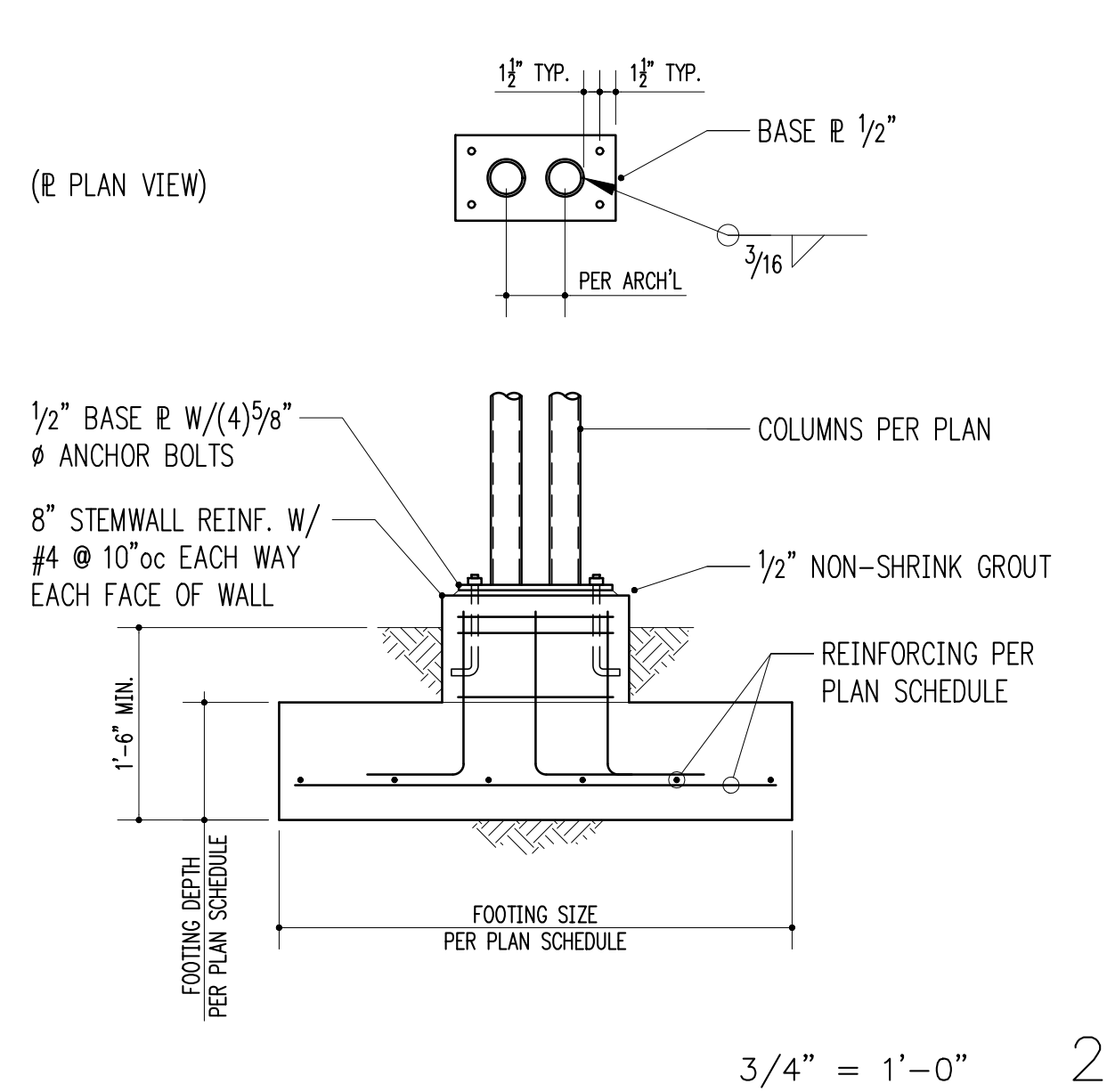
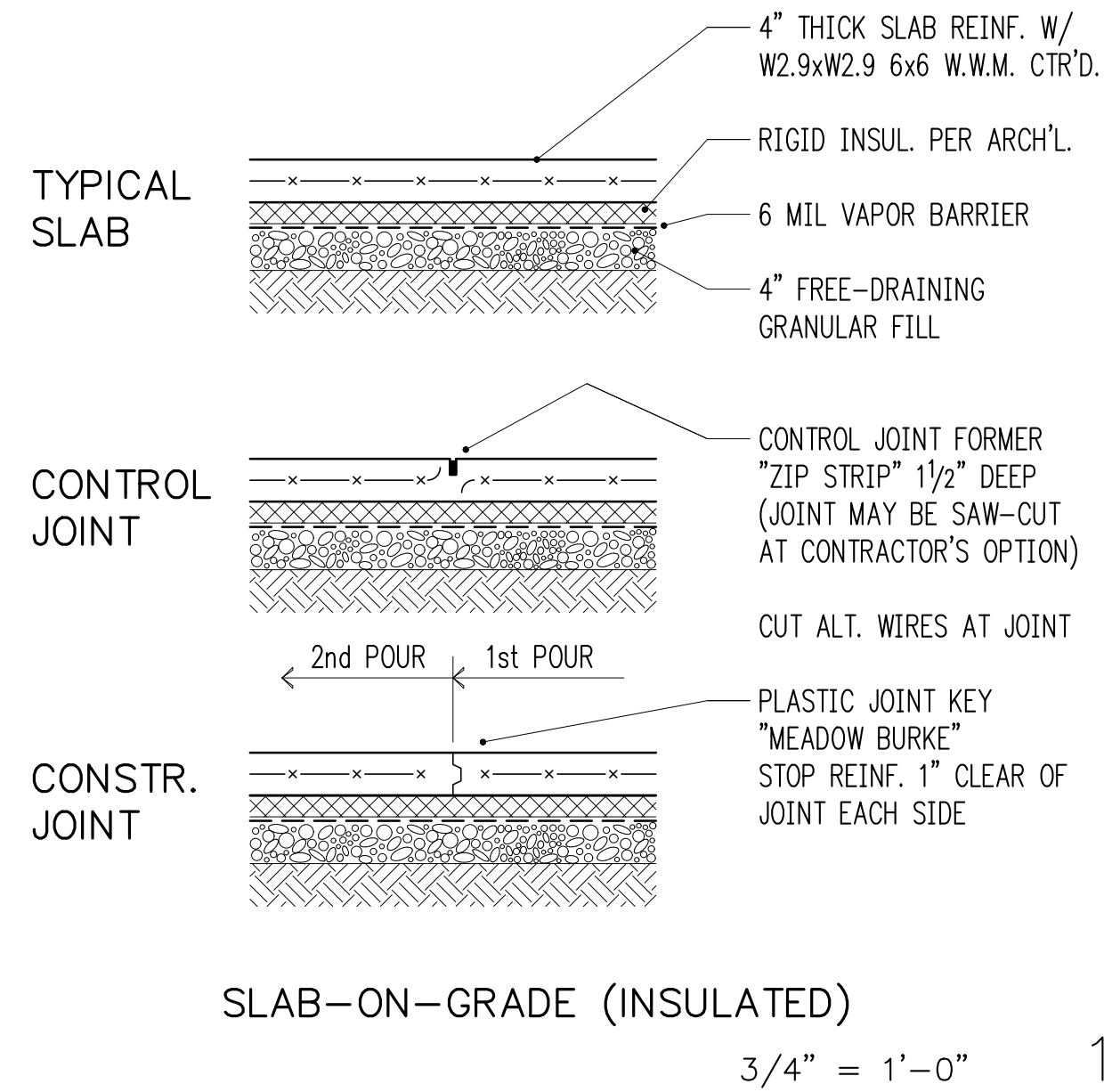
Issue

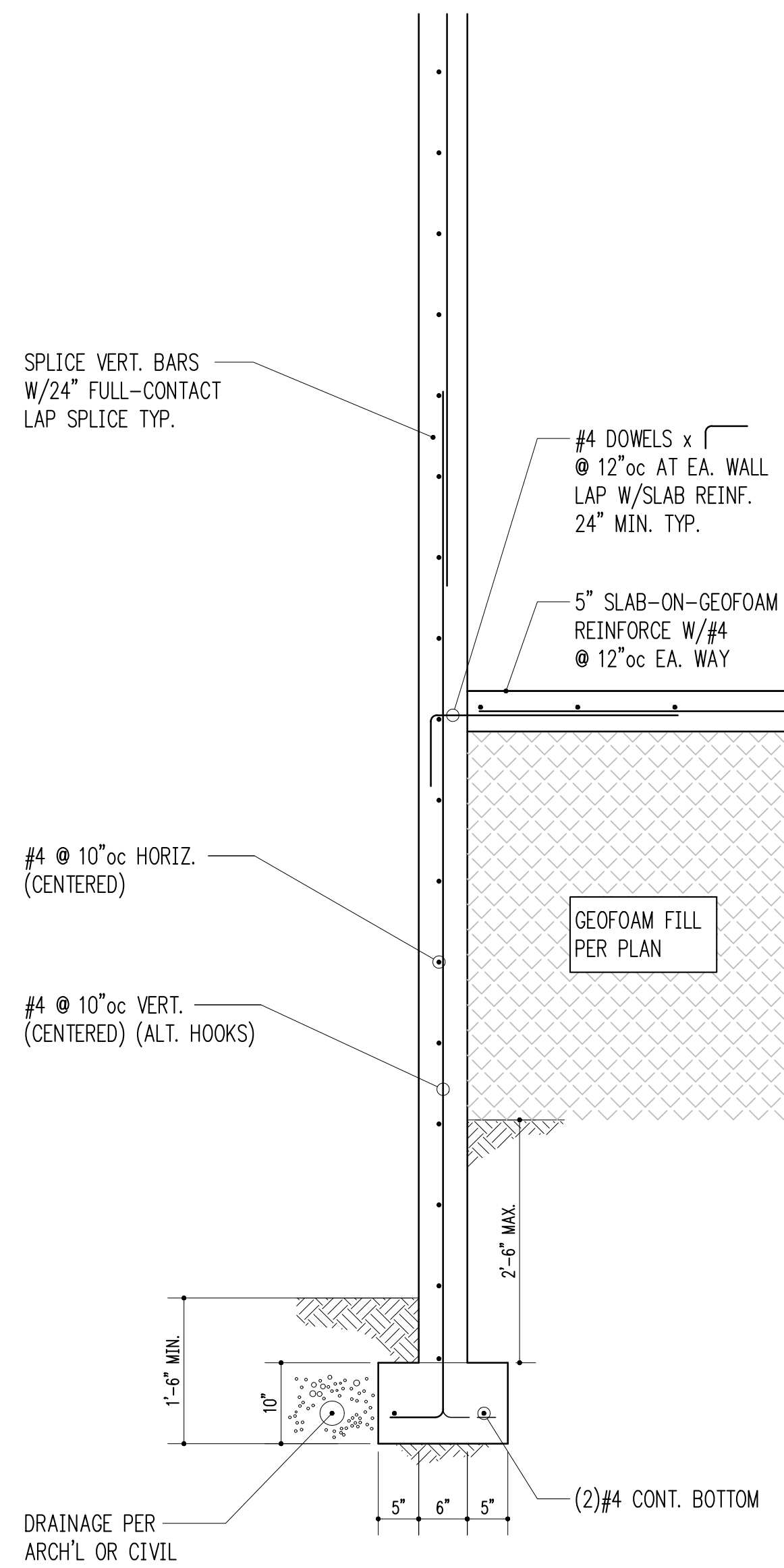
1.	10/13/21	PERMIT
2.	3/30/22	CORRECTIONS
3.		
4.		
5.		

Print Date
3/30/22

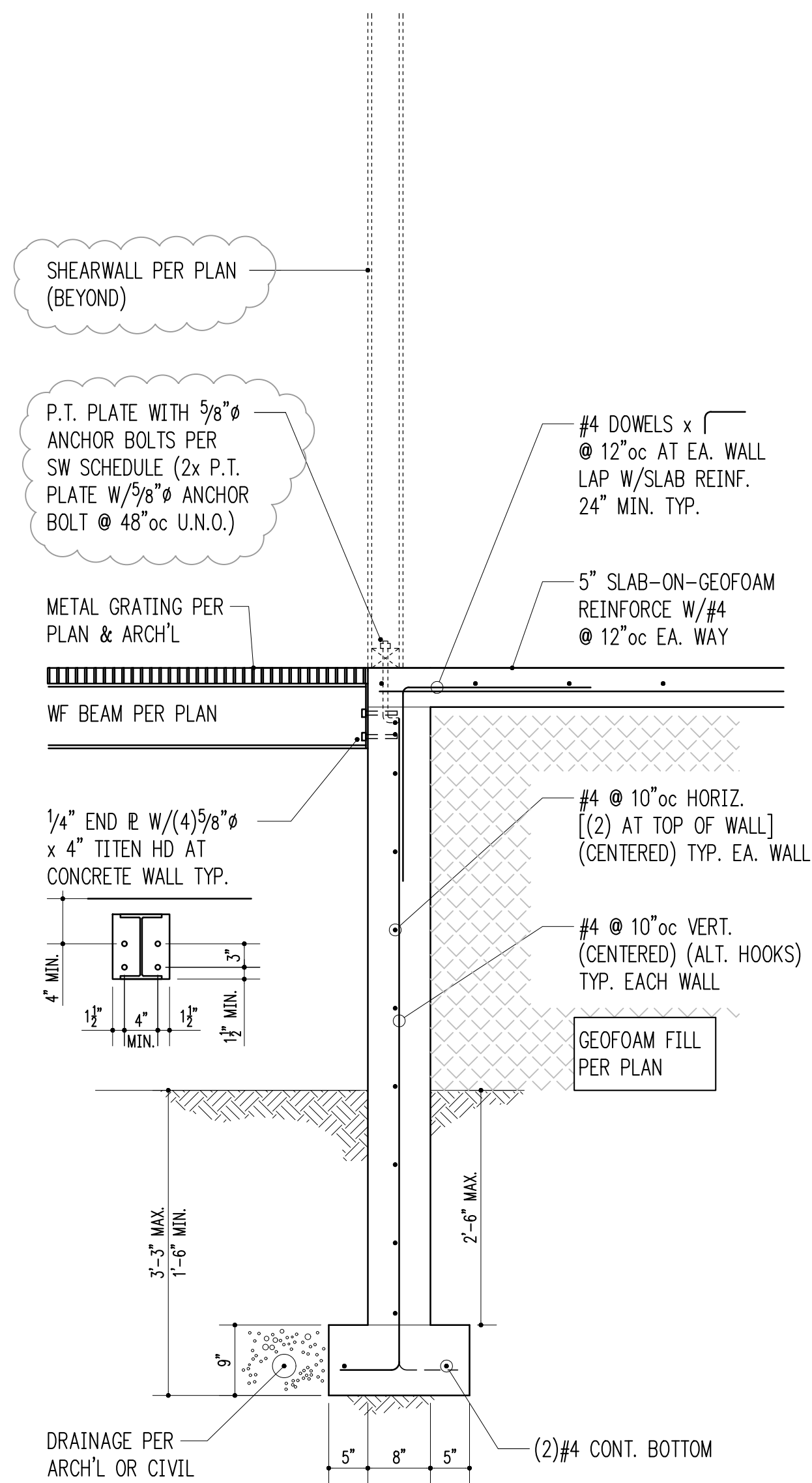
Drawing Title
ROOF FRAMING PLAN

Drawing Number
S2.3

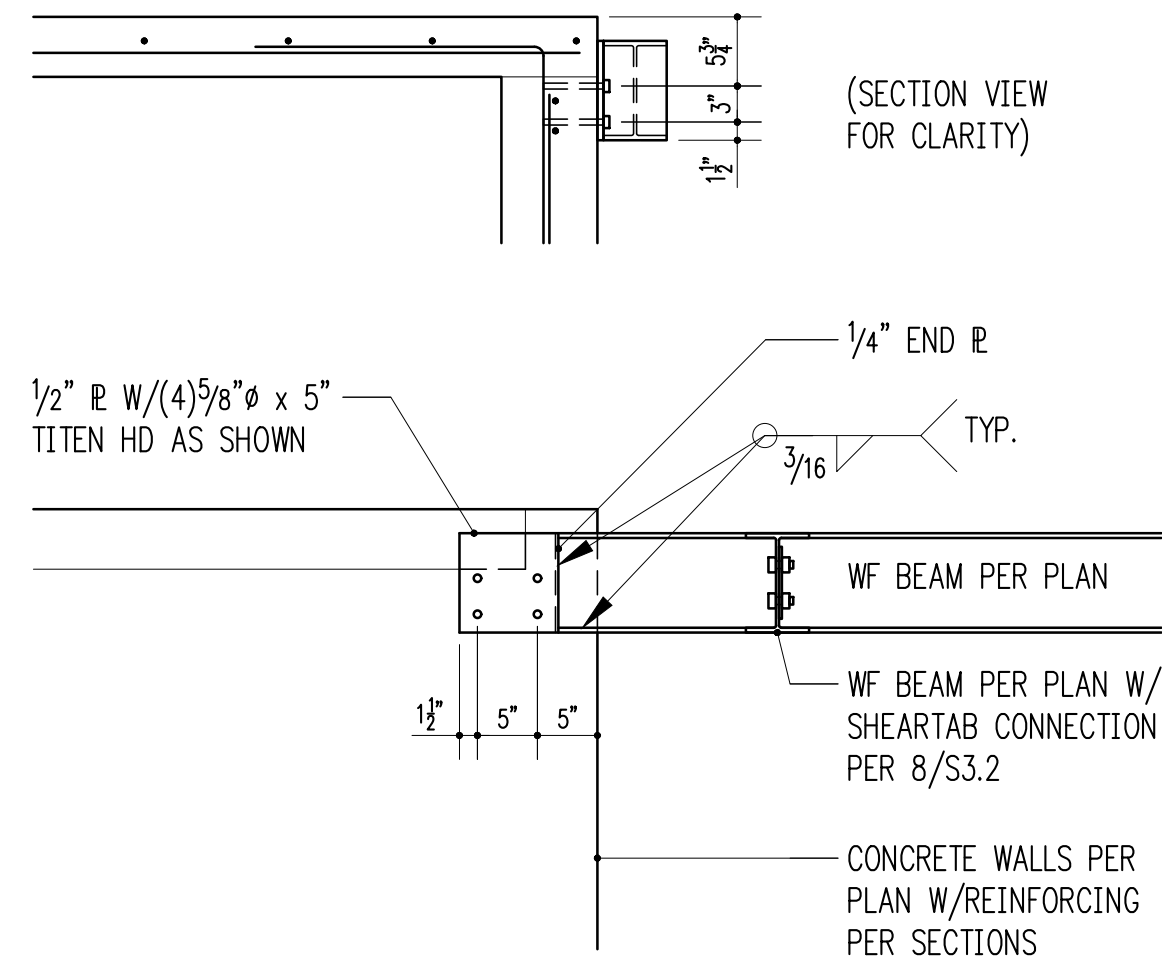




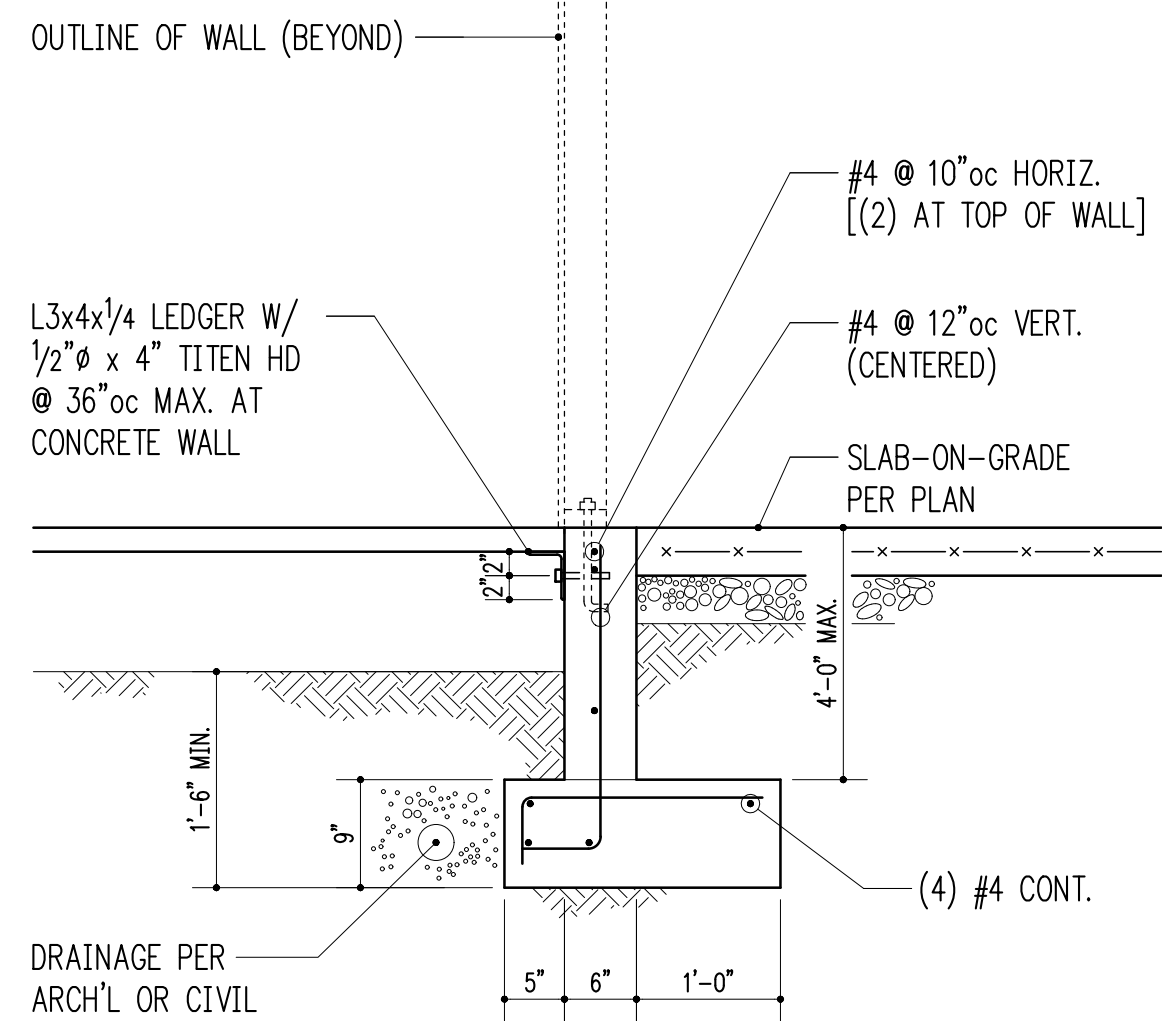
3/4" = 1'-0" 5



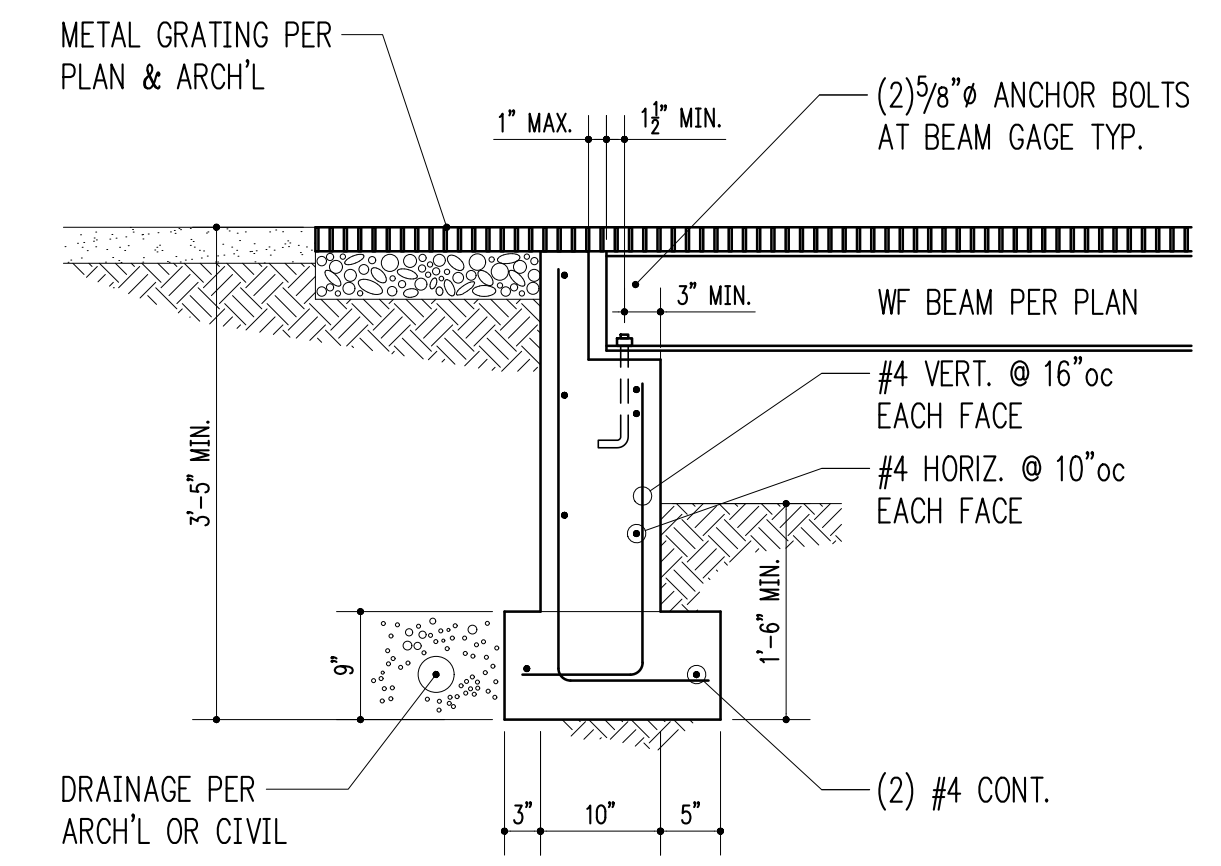
3/4" = 1'-0" 6



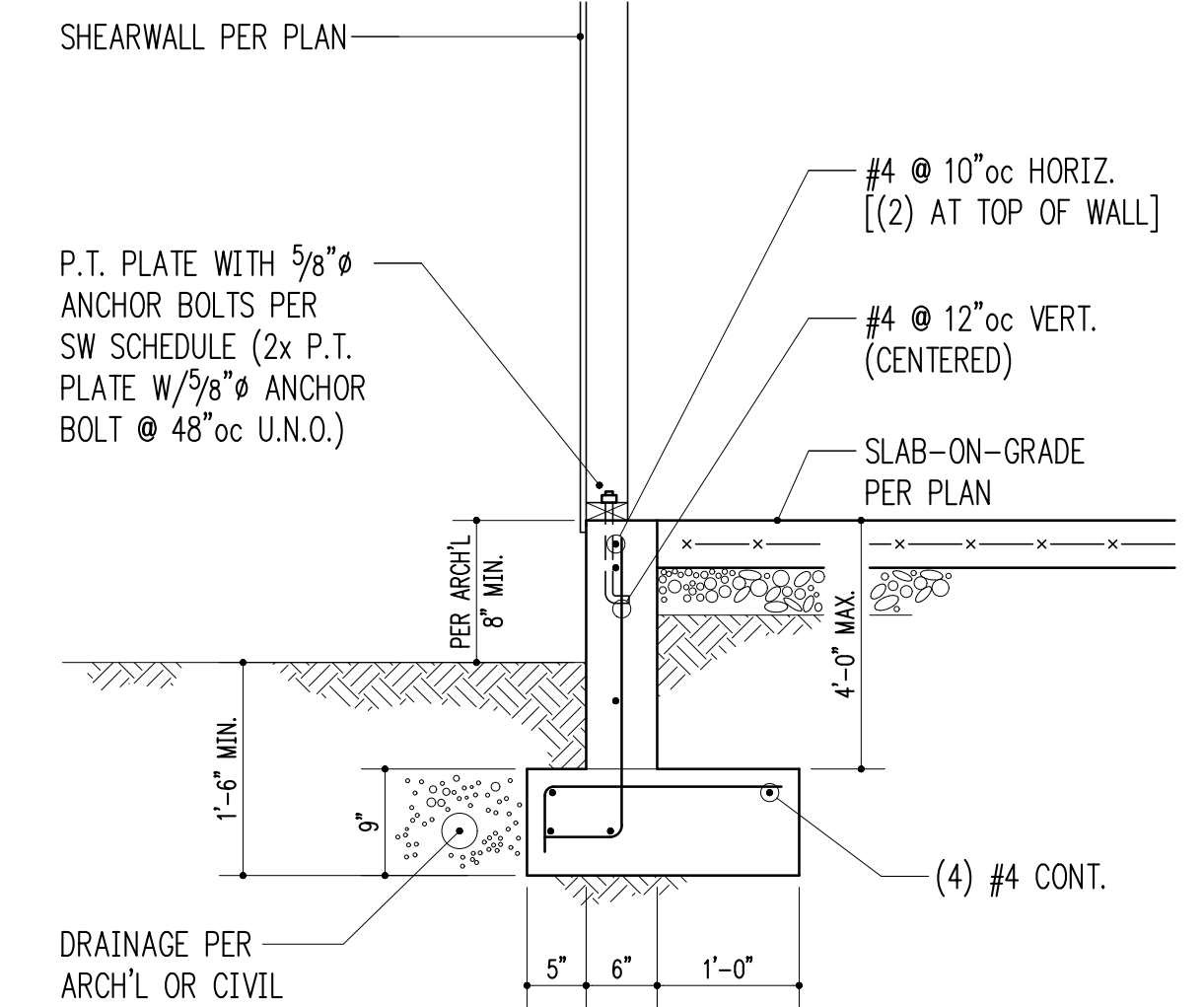
3/4" = 1'-0" 3



3/4" = 1'-0" 7



3/4" = 1'-0" 4

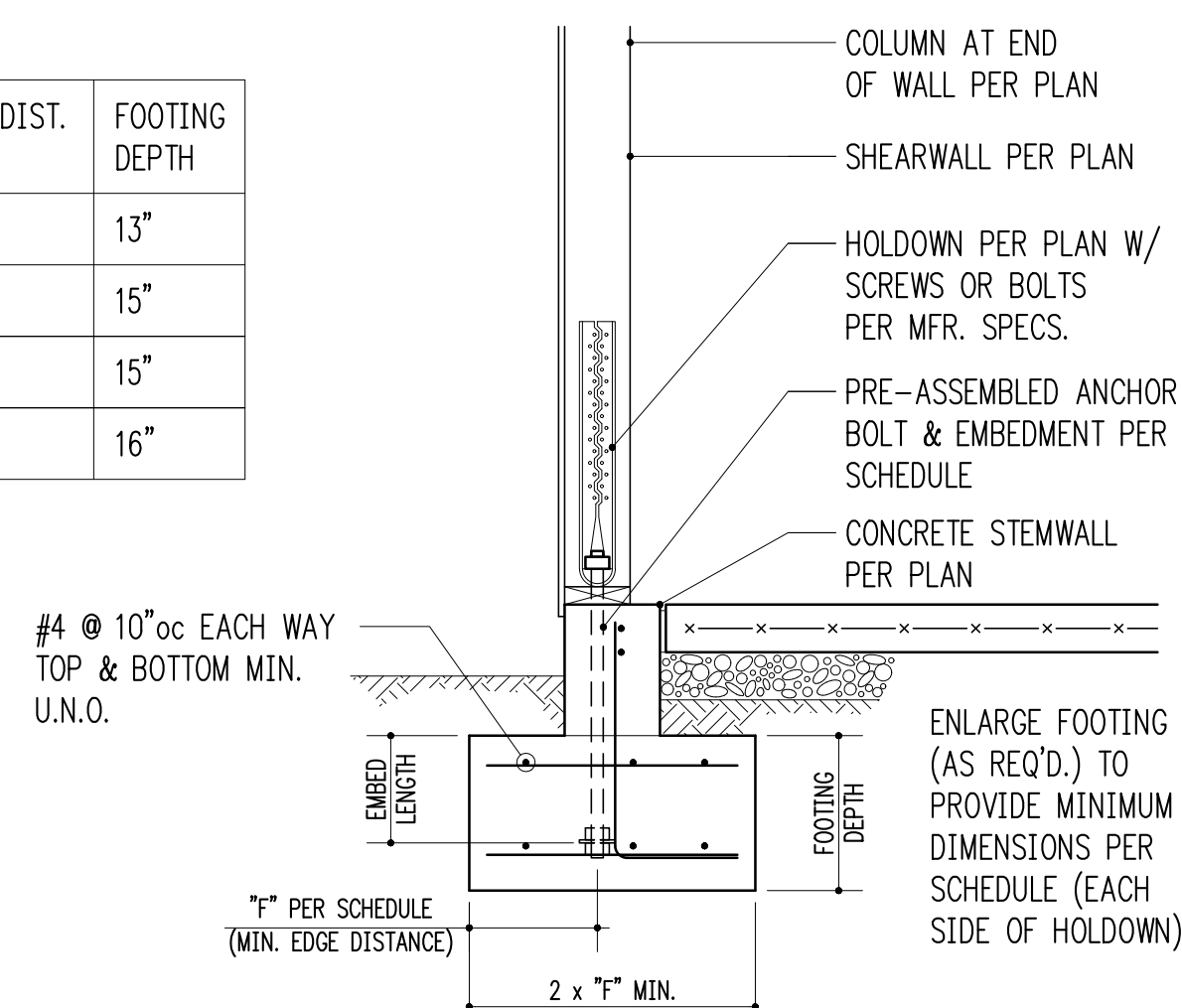


3/4" = 1'-0" 8

HEAVY-DUTY HOLDOWN SCHEDULE

MARK	FASTENERS TO STUDS ¹	PRE-ASSEMBLED ^{2,3} ANCHOR BOLT	WASHER SIZE	EMBED LENGTH	EDGE DIST. "F"	FOOTING DEPTH
HDU8	(20) 1/4" x 2 1/2" SCREWS	PAB 7	1/2x2 1/2x2 1/2	10"	15"	13"
HDU11	(30) 1/4" x 2 1/2" SCREWS	PAB 8	5/8x3x2 3/4	12"	18"	15"
HDU14	(36) 1/4" x 2 1/2" SCREWS	PAB 8	5/8x3x2 3/4	12"	18"	15"
WSWH	N/A WOOD STRONG WALL	PAB 8H	5/8x3x2 3/4	10"	15"	16"

- SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.
- PRE-ASSEMBLED ANCHOR BOLTS SHALL BE PAB SERIES ANCHOR BOLTS INSTALLED PER SIMPSON STRONG-TIE RECOMMENDATIONS. EMBEDMENT & MINIMUM FOOTING DIMENSIONS SHOWN ARE AT A MINIMUM PER PAGE 43 & 44 FOOTNOTE 3 WITH SEISMIC DESIGN CONFORMING TO ACI 318-14 SECTION 17.2.3.4.
- WHERE REQUIRED PROVIDE SIMPSON STRONG-TIE CNW AND HSCNW COUPLER NUTS.

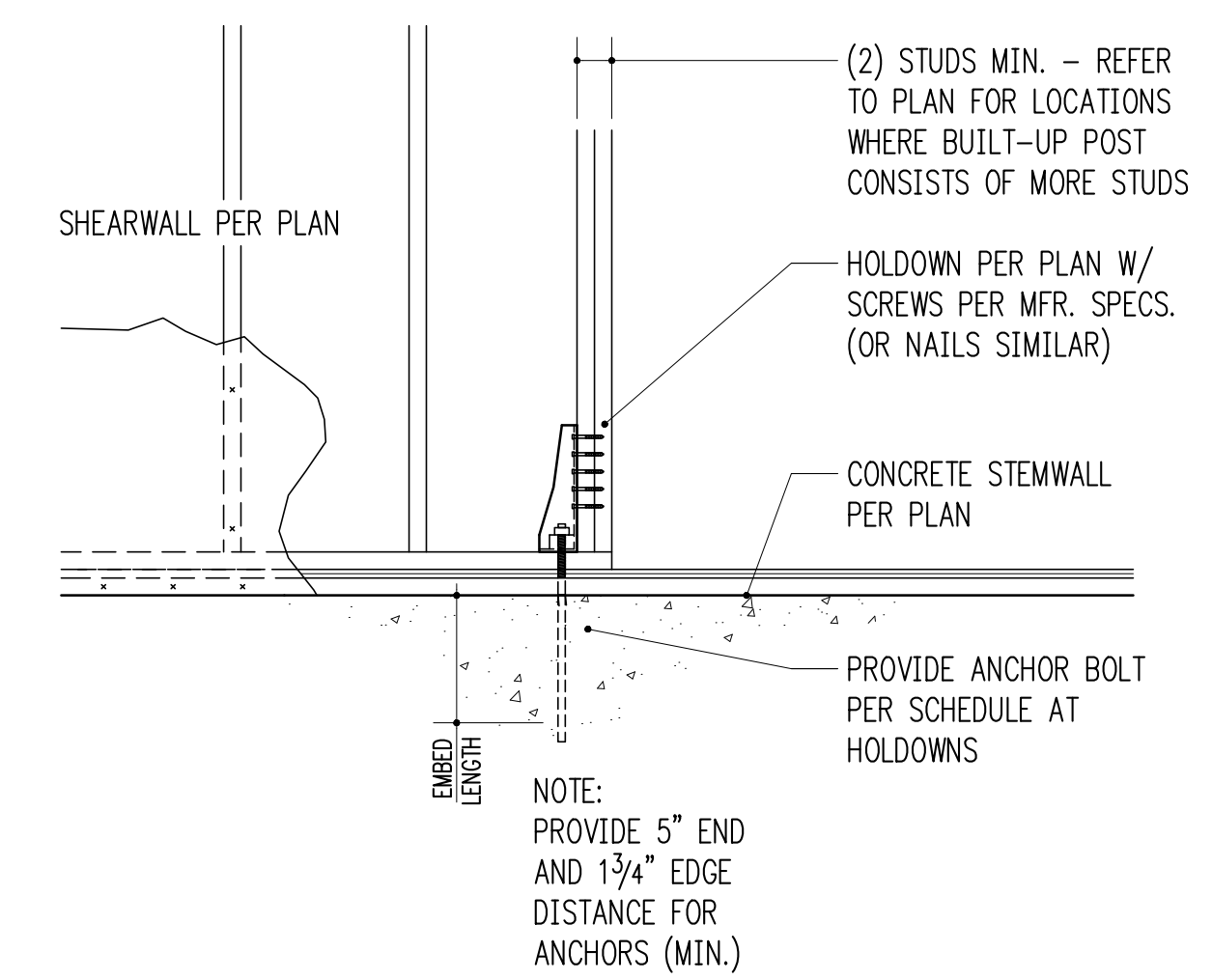


HEAVY-DUTY HOLDOWN AT CONCRETE 3/4" = 1'-0" 10

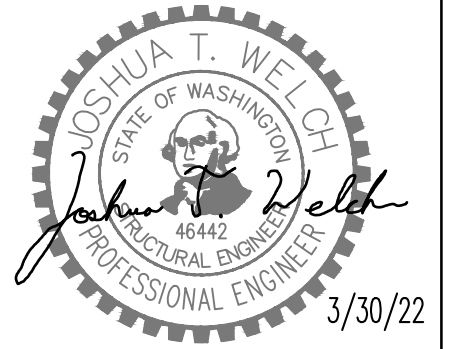
HOLDOWN SCHEDULE

MARK	FASTENERS TO STUDS ¹	ANCHOR ^{2,3}	MINIMUM EMBED
HDU2	(6) 1/4" x 2 1/2" SCREWS	SSTB16	12 5/8"
HDU4	(10) 1/4" x 2 1/2" SCREWS	SSTB24	20 5/8"
HDU5	(14) 1/4" x 2 1/2" SCREWS	SB5/8x24	18"

- 10d AND 12d DIAMETER = 0.148"; 16d DIAMETER = 0.162". SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.
- SIMPSON SSTB & SB ANCHOR BOLTS SHALL BE INSTALLED PER SIMPSON STRONG TIE RECOMMENDATIONS.
- AT 3x SILL PLATES, PROVIDE LONGER SSTBL MODELS.



TYPICAL HOLDOWN AT CONCRETE 3/4" = 1'-0" 12



MERCER GROVE

38XX W MERCER WAY
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Architect
WITTMAN ESTES

5628 Airport Way S Ste 165
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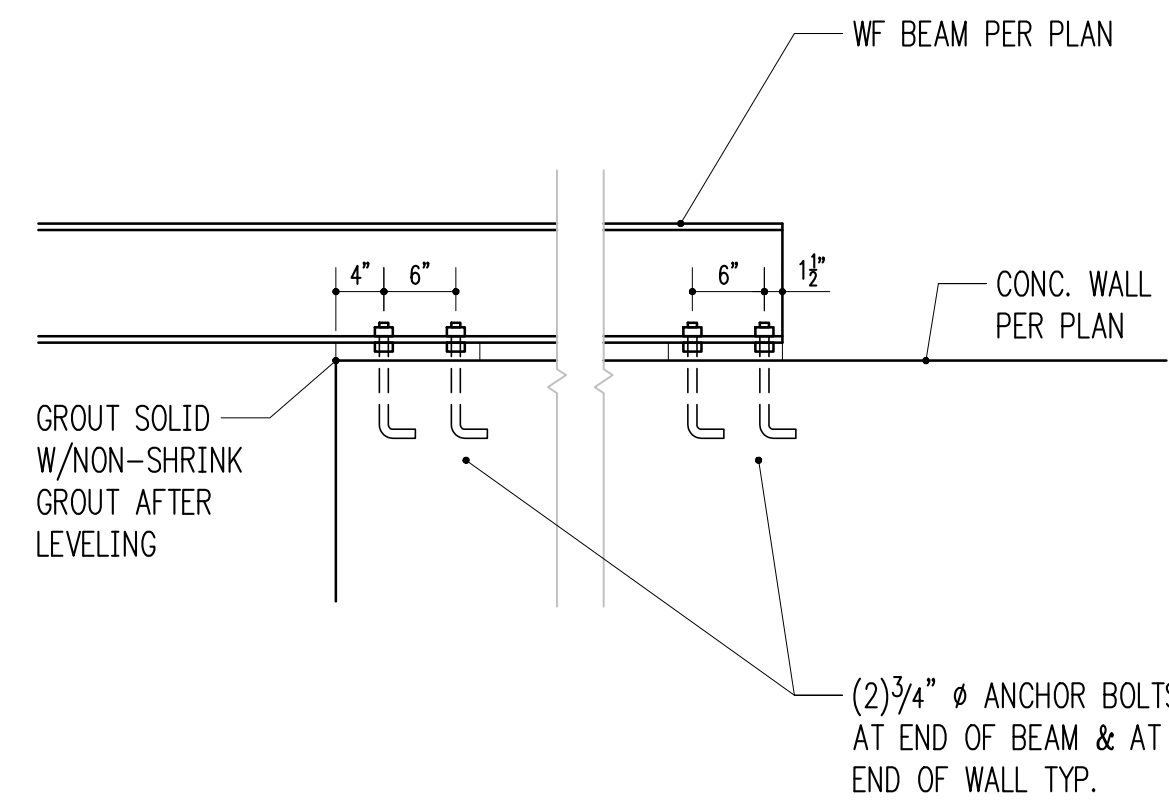
Issue	Date	Description
1.	10/13/21	PERMIT
2.	3/30/22	CORRECTIONS
3.		
4.		
5.		

Print Date
3/30/22

Drawing Title
STRUCTURAL DETAILS

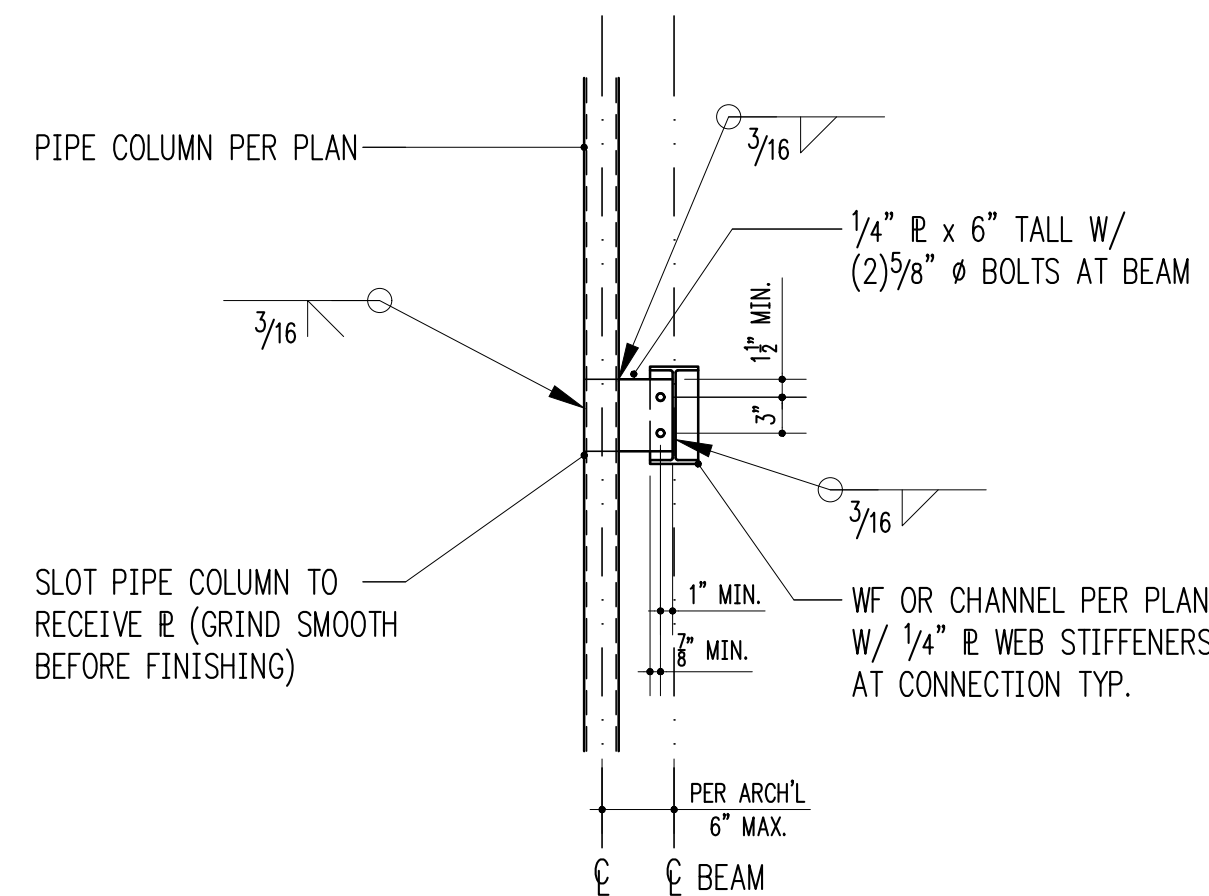
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S3.1

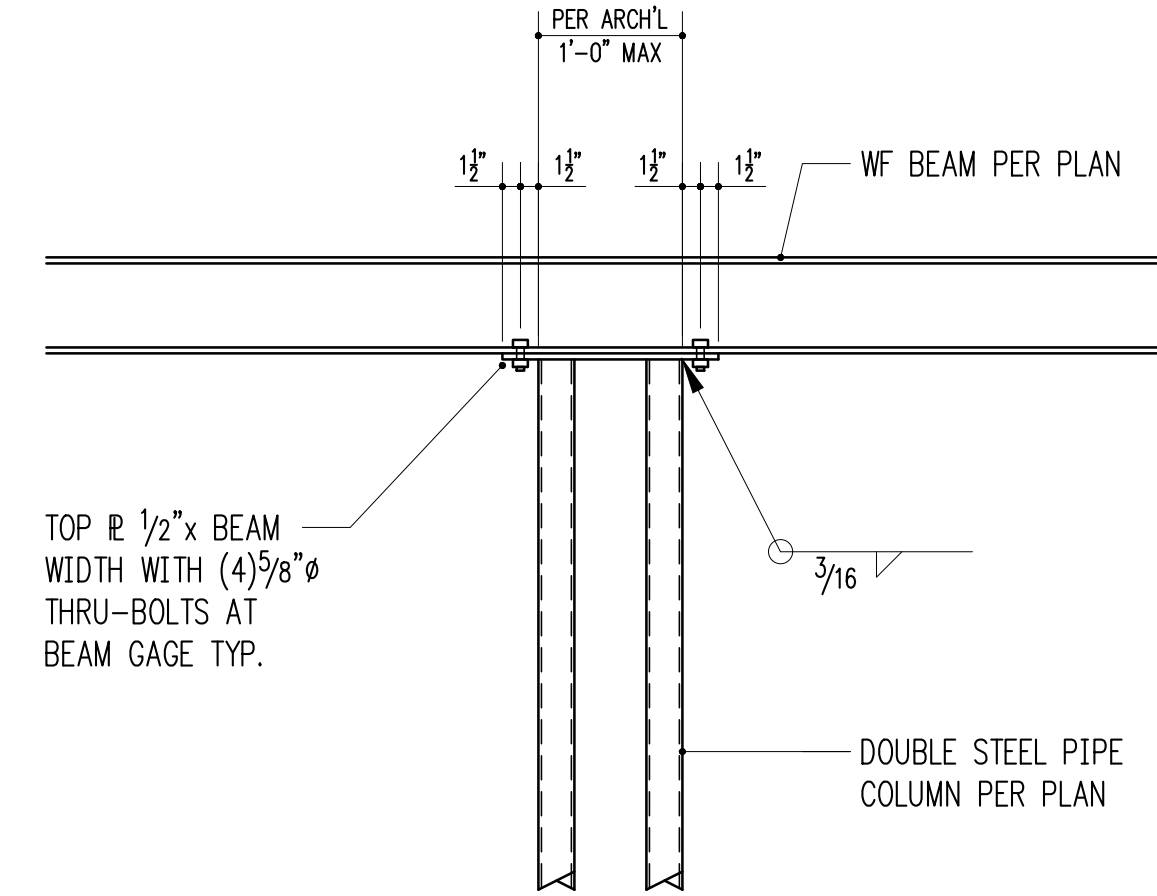


3/4" = 1'-0" 1

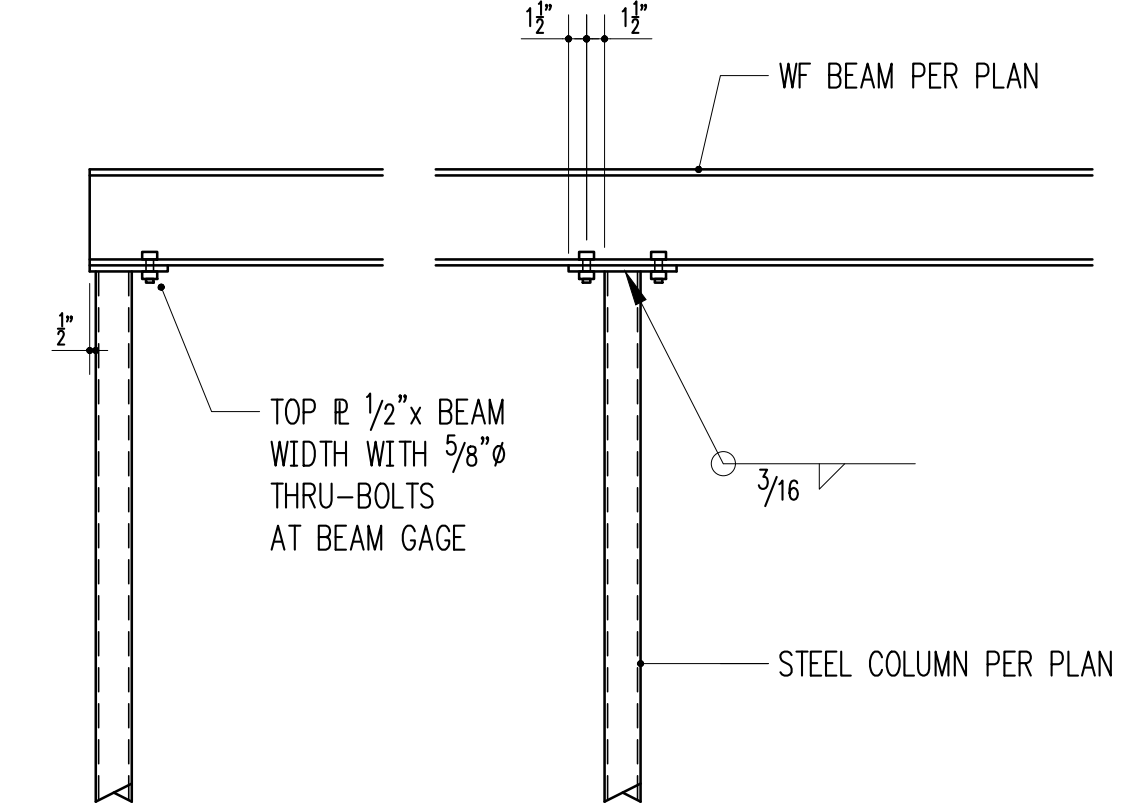
STEEL EXPOSED TO WEATHER SHALL BE PAINTED OR HOT DIPPED GALVANIZED PER ARCH'L & ASTM A123



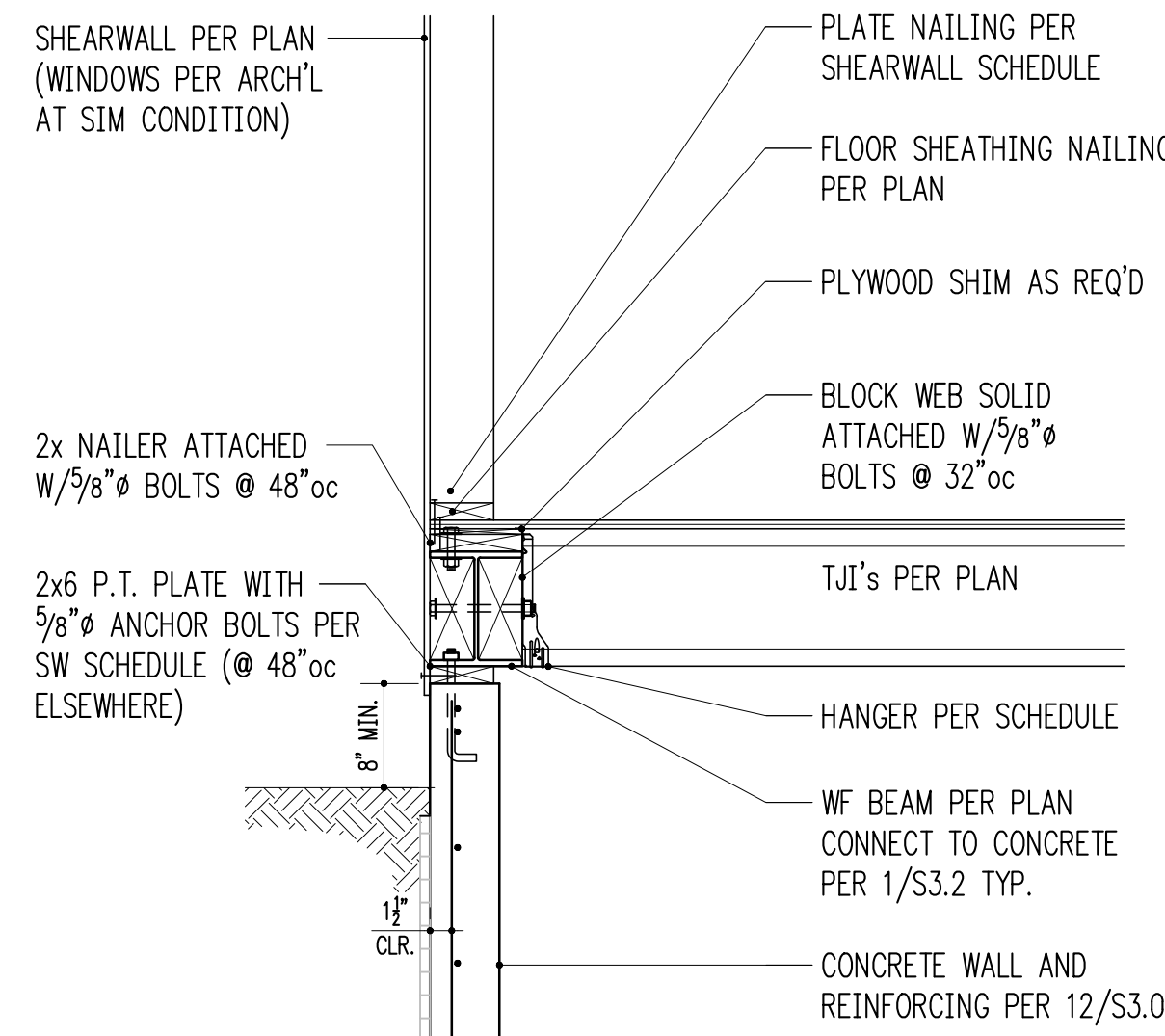
3/4" = 1'-0" 2



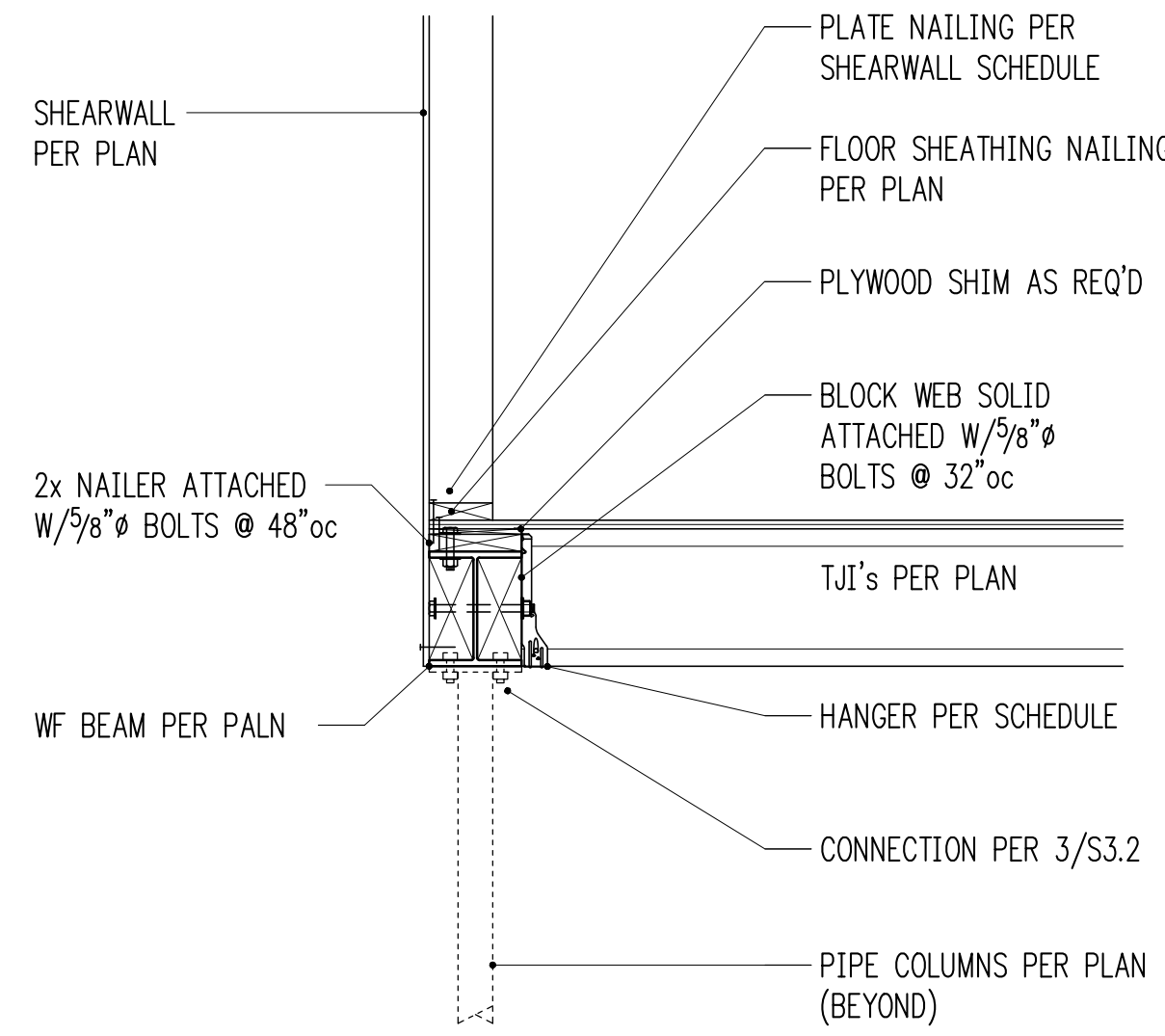
WF BEAM BEARING ON DOUBLE STEEL COLUMN
3/4" = 1'-0" 3



TYPICAL WF BEAM BEARING ON STEEL COLUMN
3/4" = 1'-0" 4



3/4" = 1'-0" 5

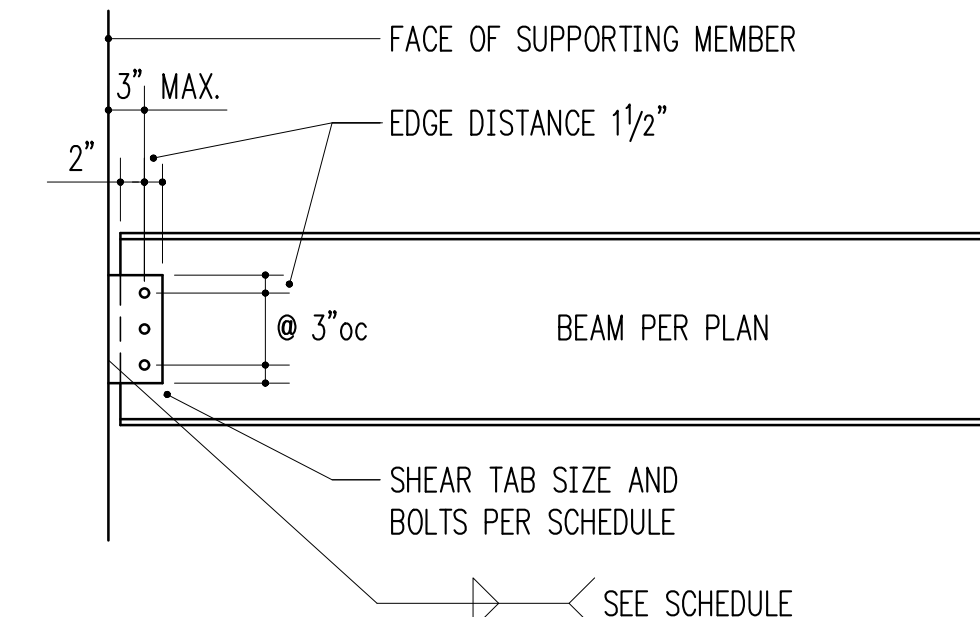


3/4" = 1'-0" 6

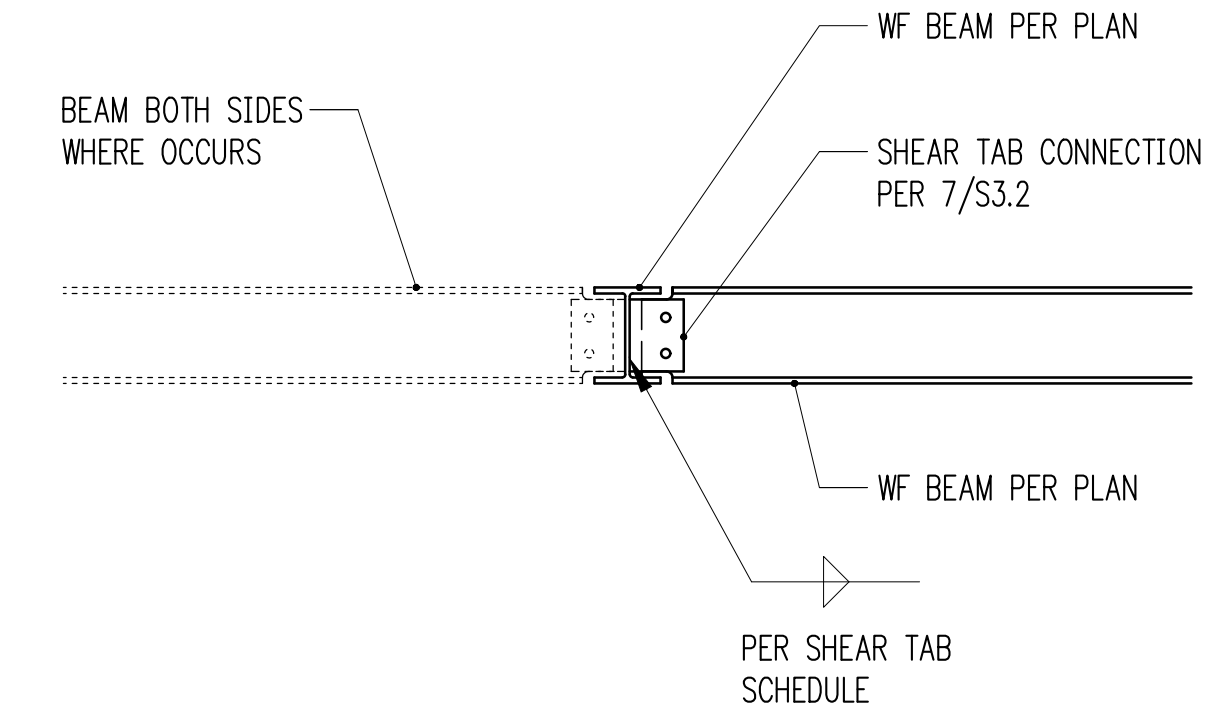
SHEAR TAB SCHEDULE

BEAM SIZE	# BOLTS	BOLT SIZE	L THICK.	WELD SIZE	CAPACITY
W8,W12,C12	(2)	3/4"φ	1/4"	3/16"	16,300 lb
W16	(2)	3/4"φ	1/4"	3/16"	16,300 lb

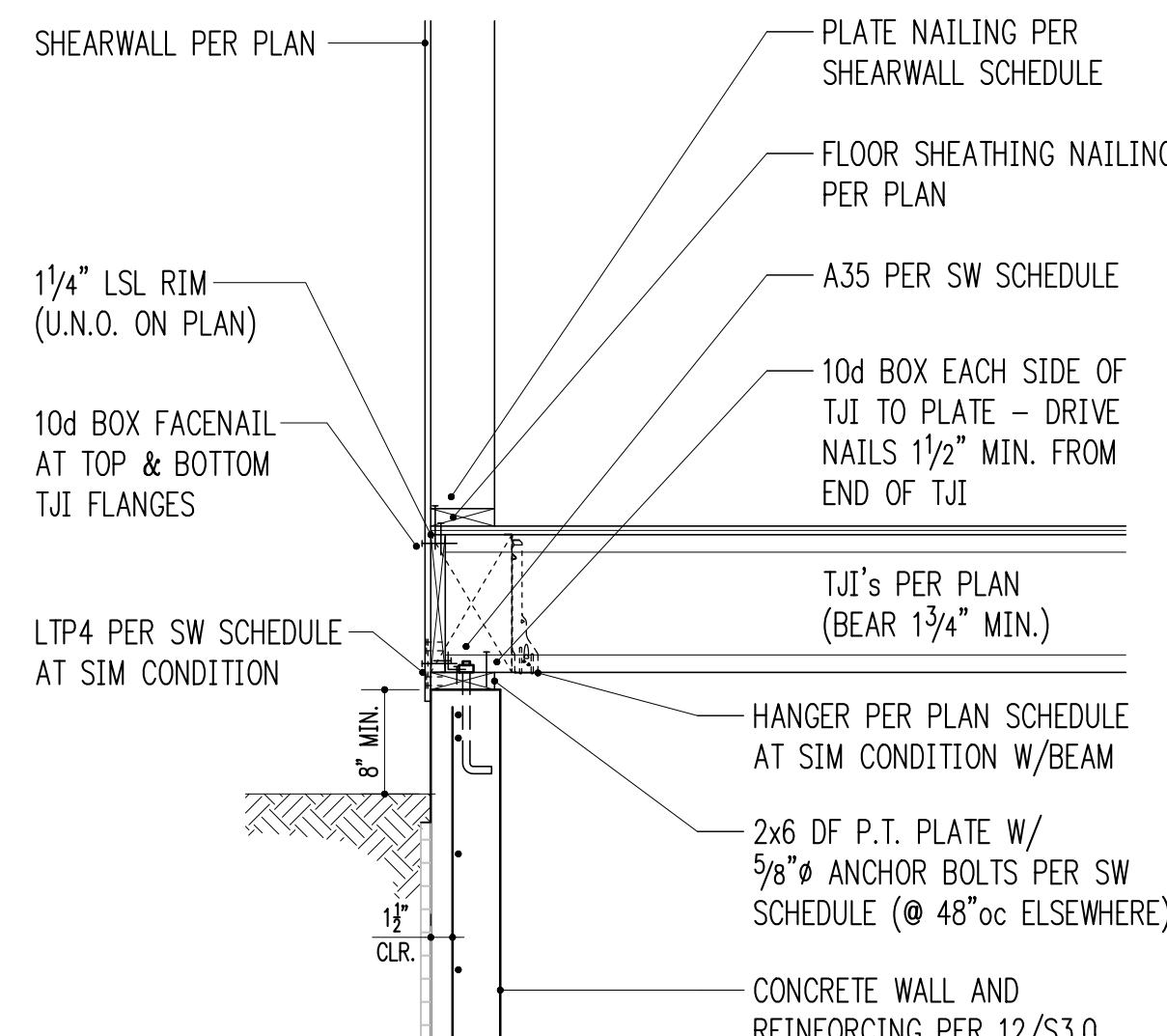
BOLT TYPE SHALL BE A325N. PLATE MATERIAL SHALL BE A36.



TYPICAL SHEAR TAB CONNECTION
3/4" = 1'-0" 7

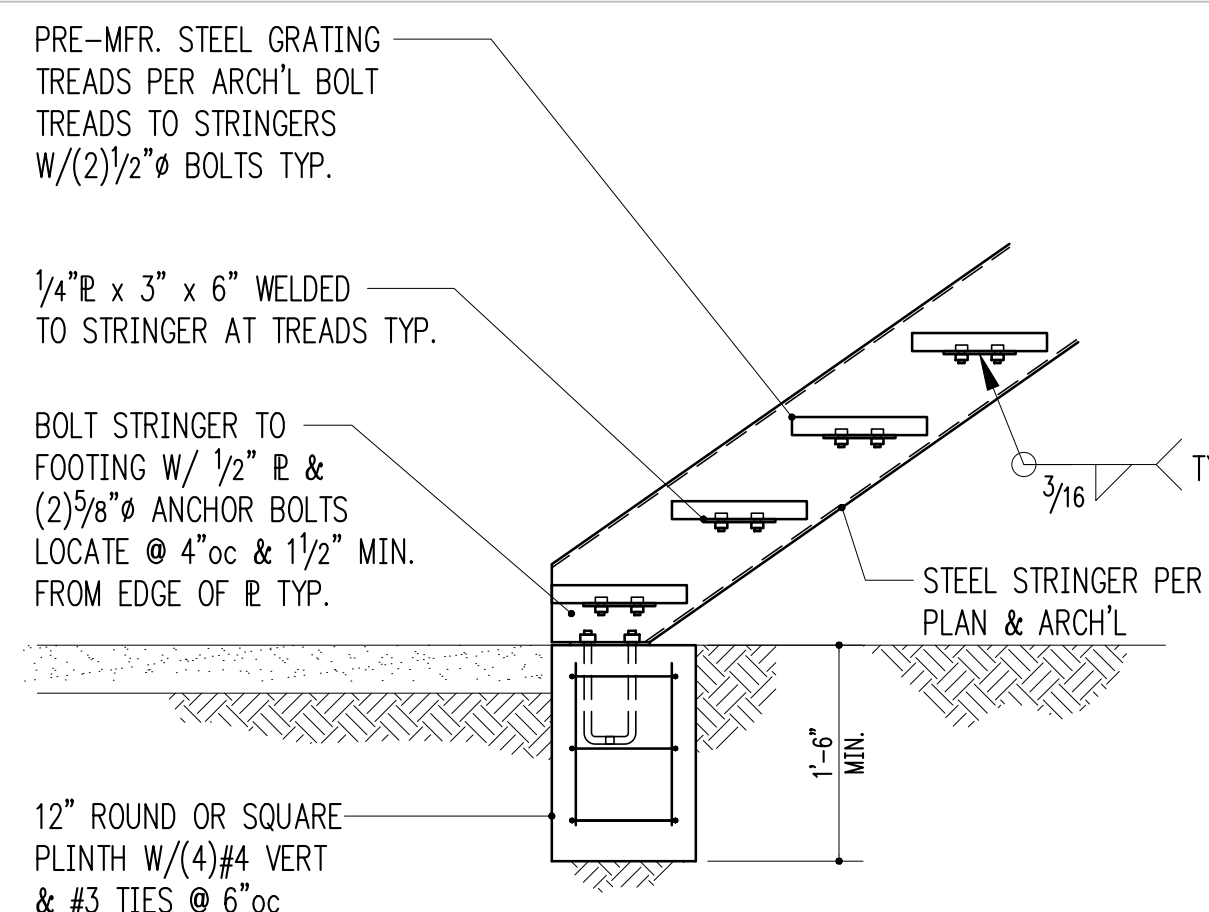


WF BEAM TO SIDE OF WF BEAM
3/4" = 1'-0" 8



3/4" = 1'-0" 9

STAIR DIMENSIONS PER ARCH'L & THE 2015 INTERNATIONAL RESIDENTIAL CODE
ALL STEEL EXPOSED TO WEATHER SHALL BE PAINTED OR HOT DIPPED GALVANIZED PER ARCH'L & ASTM A123



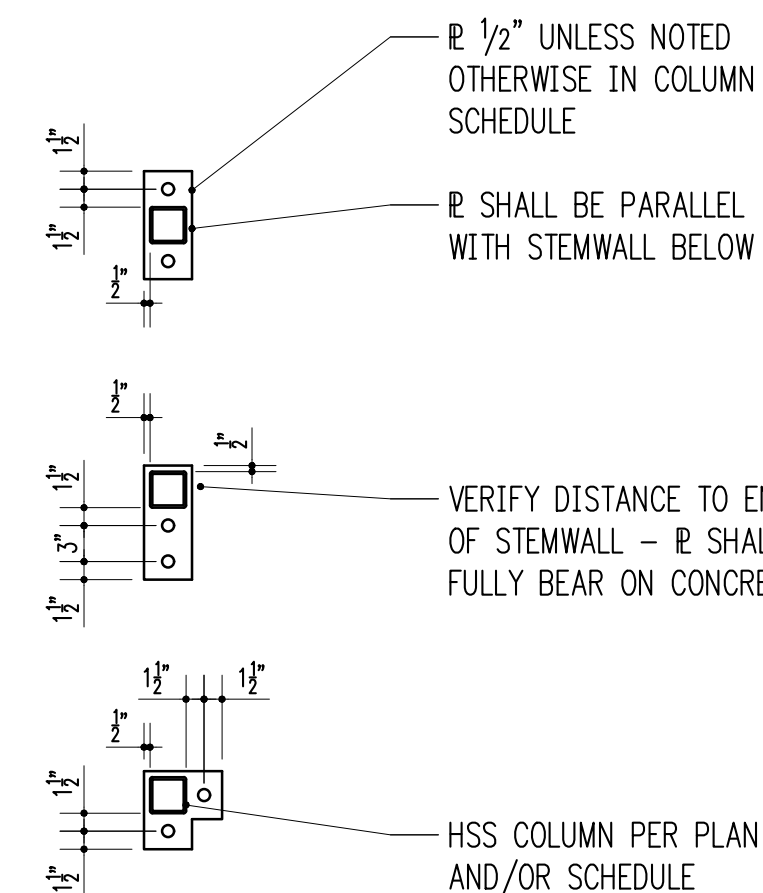
TYPICAL STEEL STRINGER CONCRETE FOOTING
3/4" = 1'-0" 10

BASE PLATE TYPE:

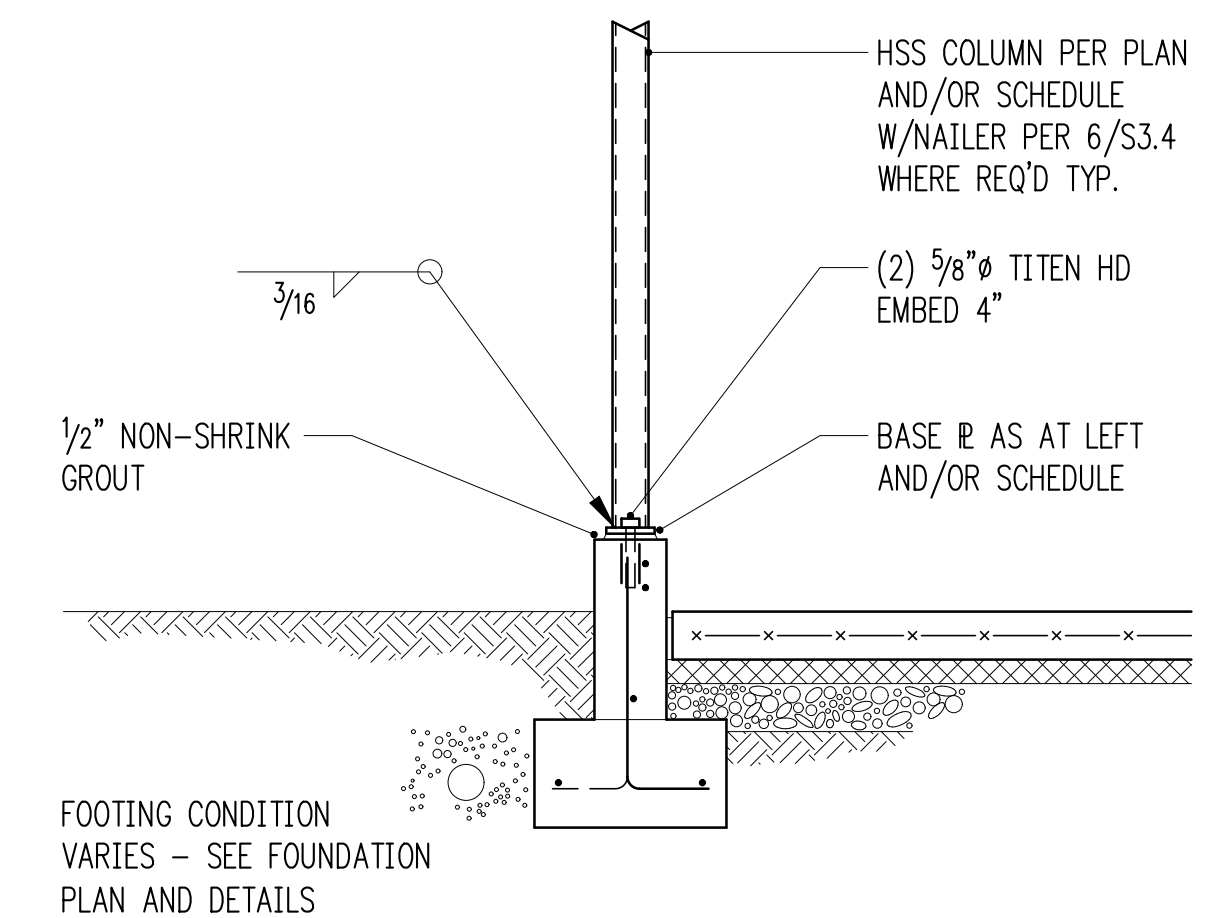
STRAIGHT MARK "BPS" (PLAN OR SCHEDULE)

OFFSET MARK "BPO" (PLAN OR SCHEDULE)

CORNER MARK "BPC" (PLAN OR SCHEDULE)

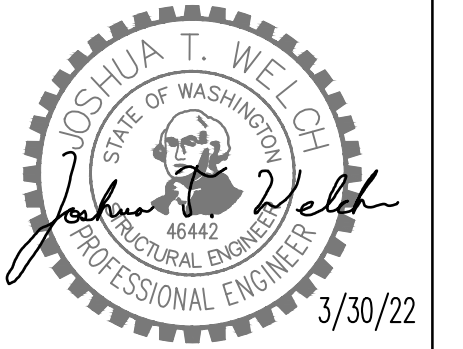


HSS COLUMN BASE PLATES



3/4" = 1'-0" 12

JWelch Engineering LLC
P.O. Box 28427
Seattle Wa. 98118
Joshua T. Welch S.E.
jtwelch@gmail.com
tel 206.356.8553



MERCER GROVE

38XX W MERCER WAY
MERCER ISLAND, WA 98040

Architect
WITTMAN ESTES

5628 Airport Way S Ste 165
Seattle, WA 98106

Issue

1.	10/13/21	PERMIT
2.	3/30/22	CORRECTIONS
3.		
4.		
5.		

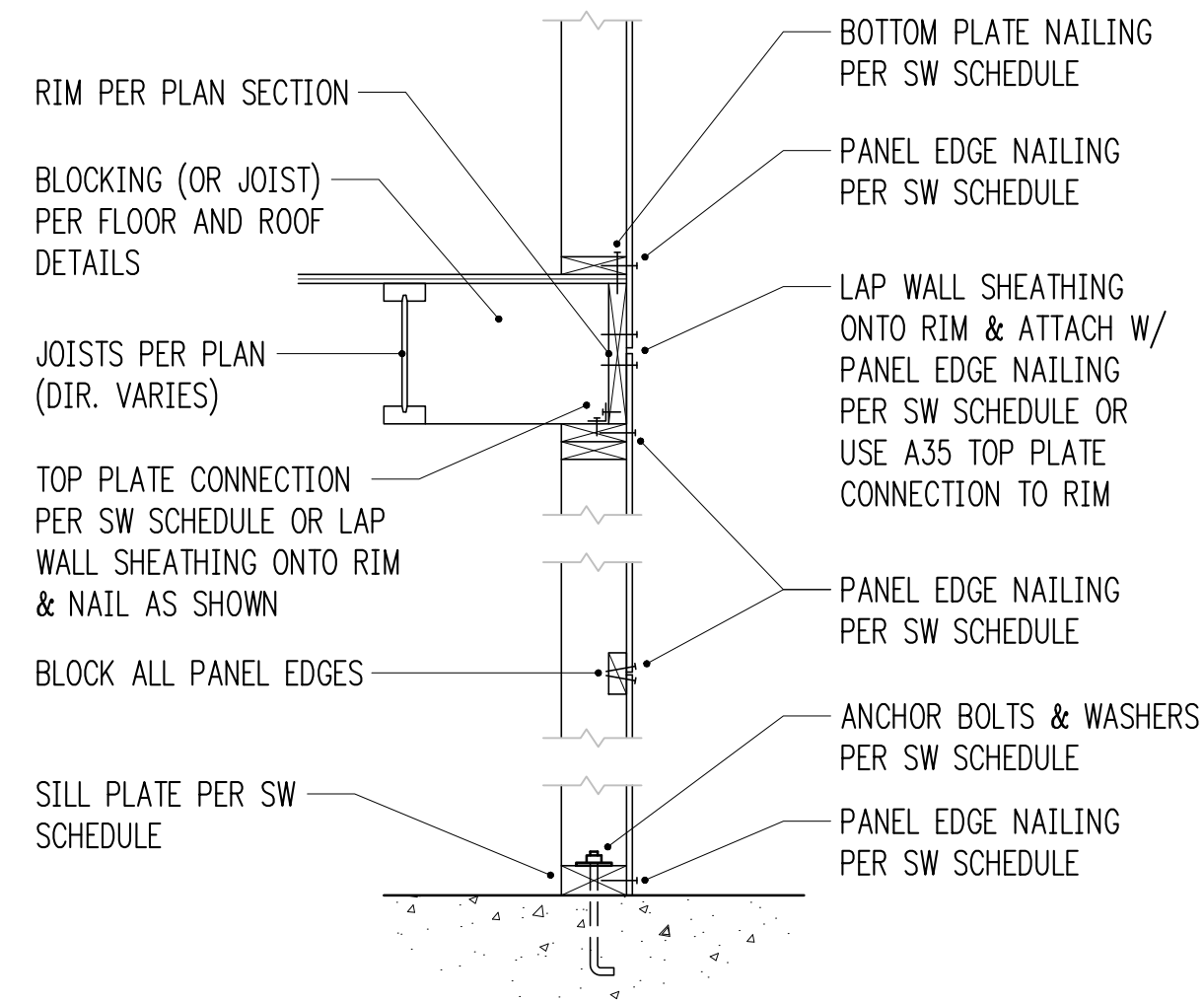
Print Date
3/30/22

Drawing Title
STRUCTURAL DETAILS

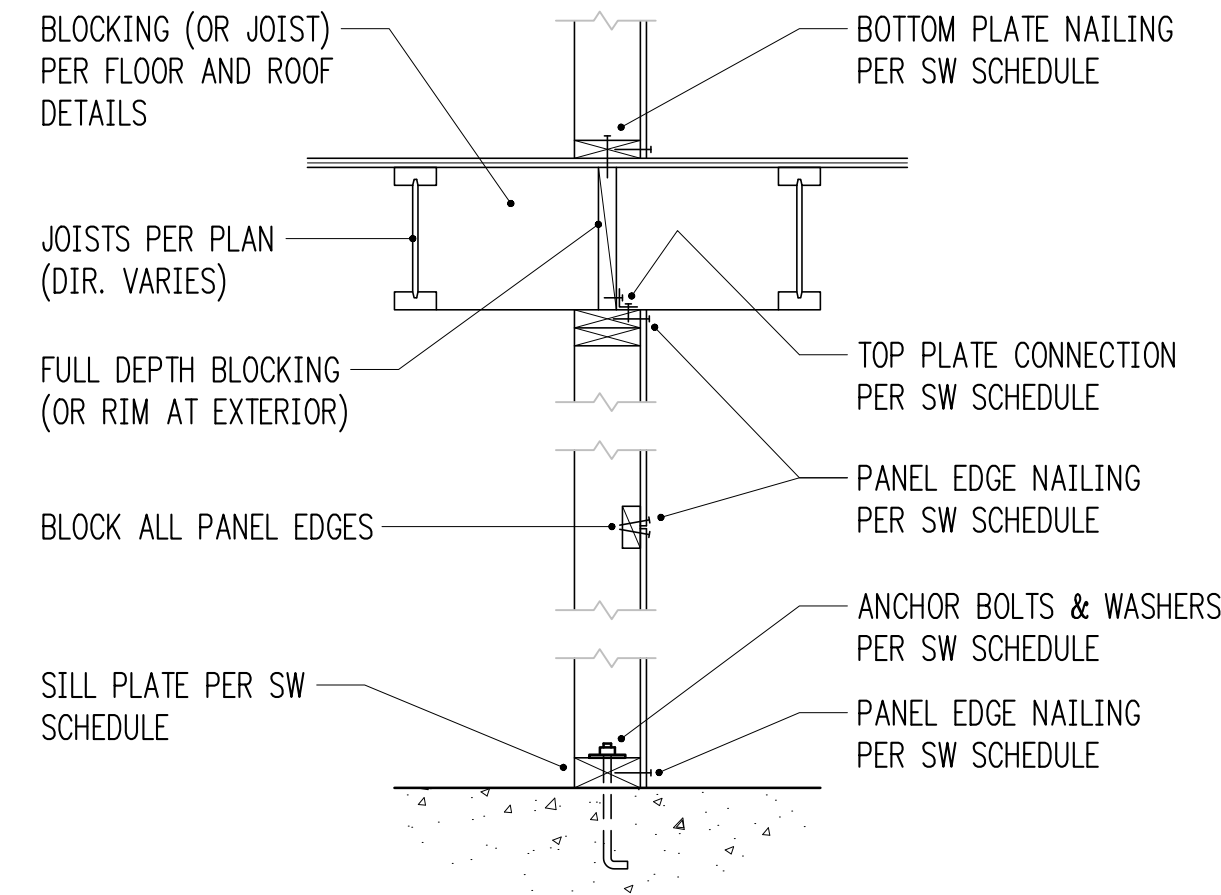
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S3.2

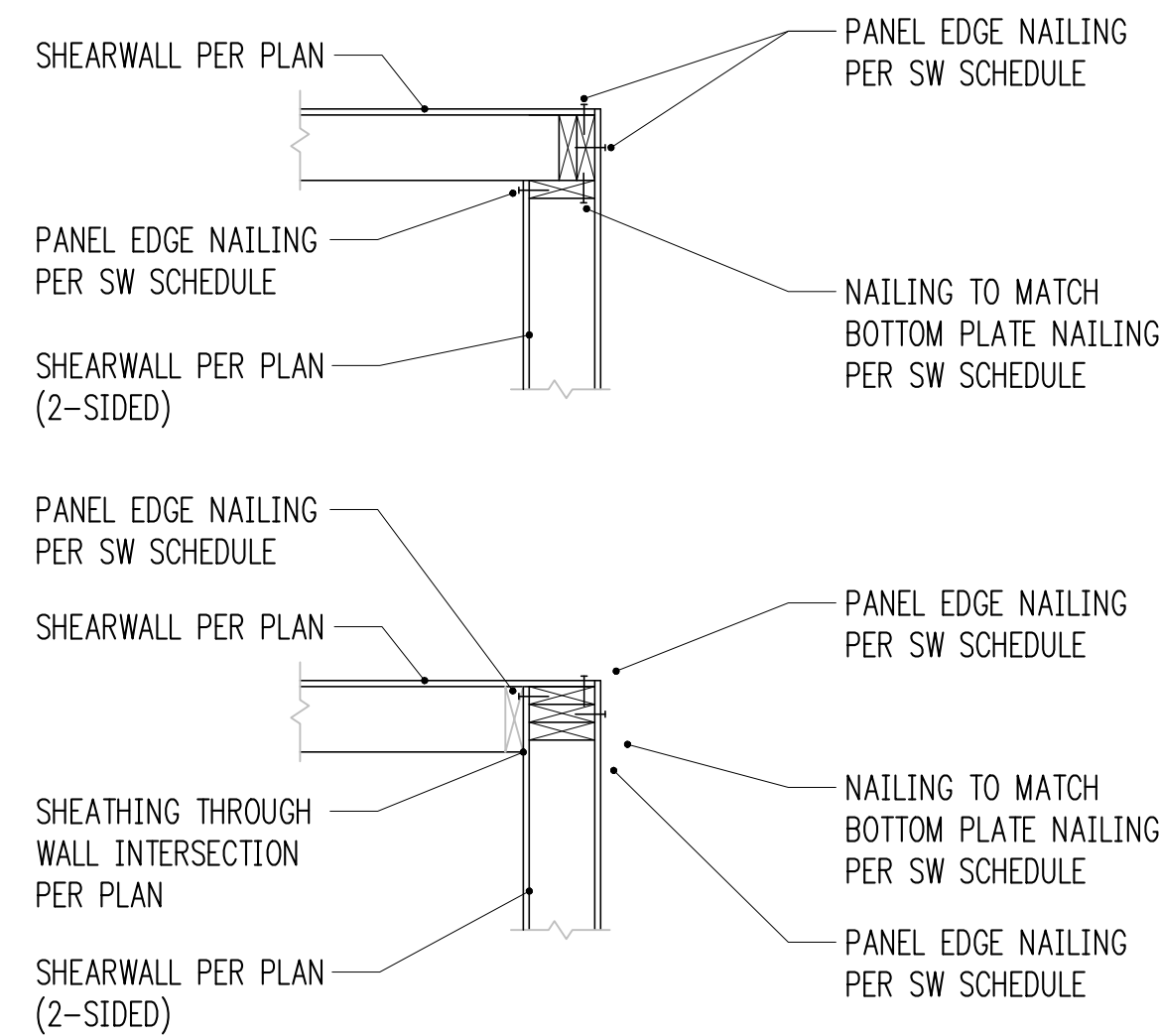
TYPICAL SHEARWALL DETAILS & SCHEDULE



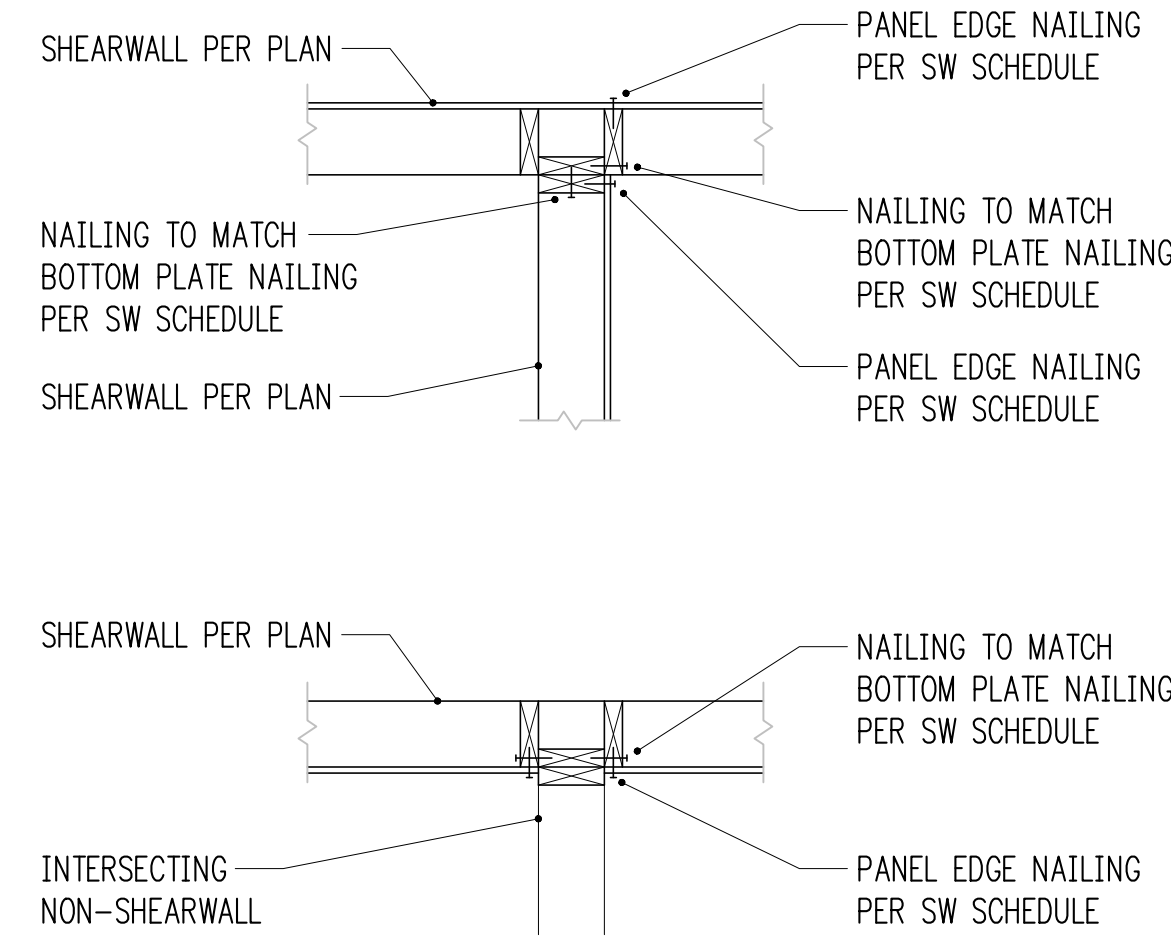
TYPICAL EXTERIOR SHEARWALL SECTION



TYPICAL INTERIOR SHEARWALL SECTION



TYPICAL TWO-SIDED SHEARWALL INTERSECTIONS

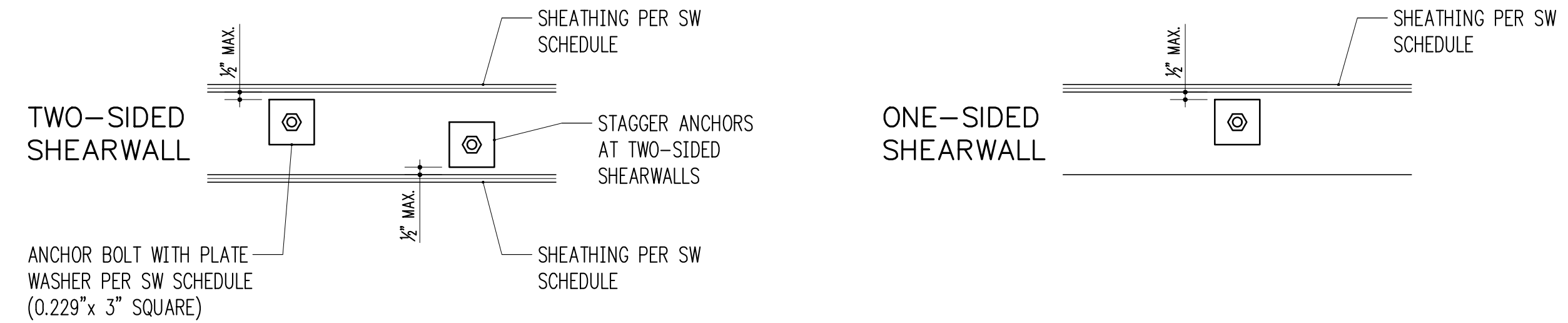


TYPICAL ONE-SIDED SHEARWALL INTERSECTIONS

SHEARWALL SCHEDULE

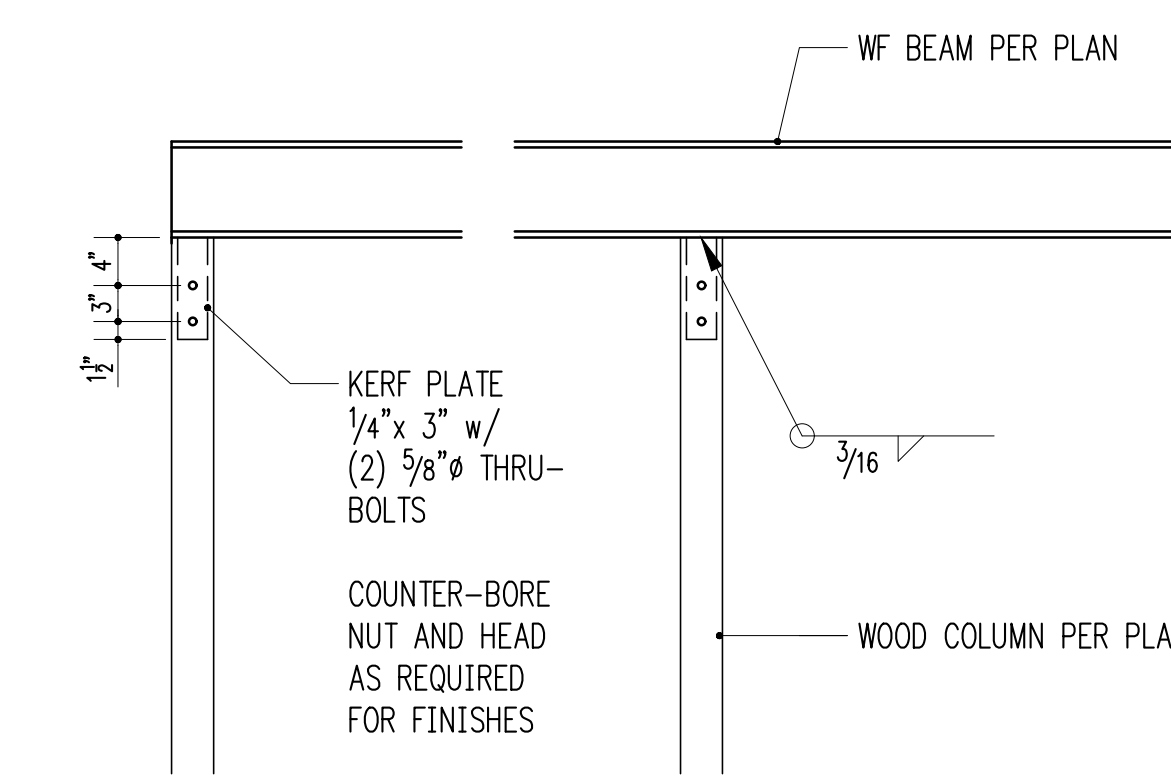
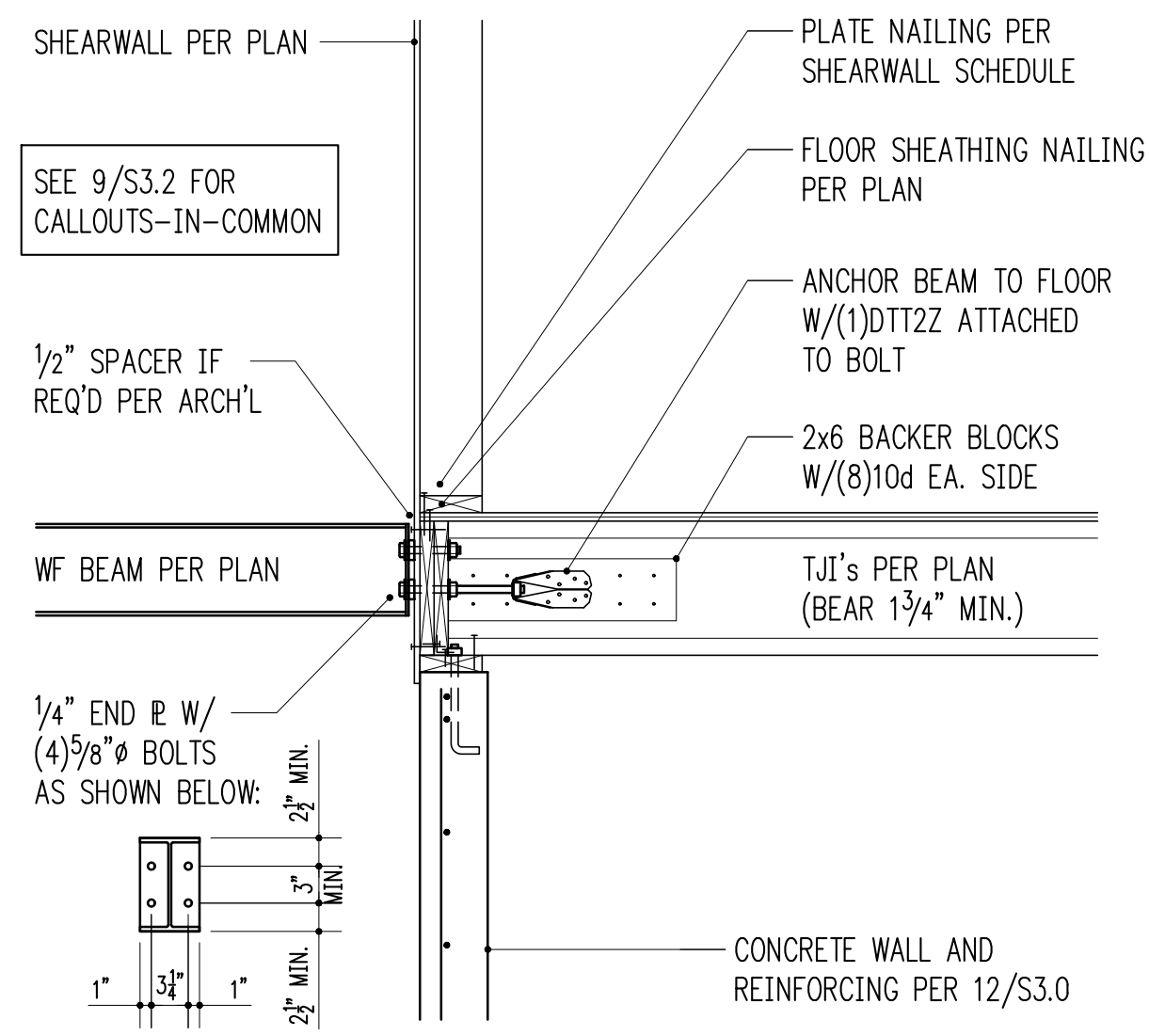
MARK	SHEATHING ¹	STUDS AT ABUTTING PANEL EDGES ²	PANEL EDGE NAILING ^{3,4}	RIM JOIST OR BLOCKING TO TOP PLATE		BOTTOM PLATE ATTACHMENT			SPECIES REQUIRED FOR STUDS & PLATES
				SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW ⁴	ANCHOR BOLT TO CONCRETE ⁵	SILL PLATE AT FOUND.	
SW1	15/32" CDX PLYWOOD	2x	8d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	16d @ 6"oc	5/8" @ 48"oc	2x	HEM-FIR FRAMING
SW2	15/32" CDX PLYWOOD	2x	8d @ 4"oc	A35 @ 15"oc	16d @ 4"oc	16d @ 4"oc	5/8" @ 32"oc	2x	
SW3	15/32" CDX PLYWOOD	3x	8d @ 3"oc	A35 @ 12"oc	N/A - USE	16d @ 3"oc	5/8" @ 16"oc	2x	
SW4	15/32" CDX PLYWOOD	3x	8d @ 2"oc	A35 @ 9"oc	SOLID RIM	16d @ 2"oc	5/8" @ 12"oc	2x	
SW5	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 3"oc	A35 @ 6"oc	N/A - USE	(2) ROWS 16d @ 3"oc	5/8" @ 16"oc	3x	DOUG-FIR FRAMING REQUIRED
SW6	15/32" CDX PLYWOOD BOTH SIDES	3x	10d @ 2"oc	A35 @ 4 1/2"oc	SOLID RIM	(2) ROWS 16d @ 2"oc	5/8" @ 12"oc	3x	

- WALL SHEATHING SHALL CONSIST OF APA RATED PLYWOOD WITH SPAN RATING 24/0. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF PANELS. 1/16" APA RATED SHEATHING (OSB) MAY BE USED IN PLACE OF 15/32" CDX.
- STUDS AT PANEL EDGES MAY CONSIST OF (2)2x STUDS IN PLACE OF 3x STUDS - NAIL (2)2x STUDS TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.
- BLOCK ALL PANEL EDGES W/ 2x4 FLAT, ATTACH W/ PANEL EDGE NAILING. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS. END STUDS SHALL RECEIVE PANEL EDGE NAILING. INTERMEDIATE STUDS SHALL BE 2x STUDS. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131" DIAMETER x 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIAMETER x 3 1/2" (BOX). NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH WITH FACE OF SHEATHING (NO COUNTERSINKING). NAILS SHALL BE LOCATED 3/8" MIN. FROM EDGE OF SHEATHING. STAGGER NAILS WHERE SPACING IS LESS THAN 4"oc.
- ANCHORS TO CONCRETE SHALL CONSIST OF CAST-IN-PLACE ANCHOR BOLTS, EXPANSION BOLTS, EPOXY GROUTED ALL-THREADS, OR TITEN HD HEAVY DUTY SCREW ANCHORS. CAST-IN-PLACE ANCHOR BOLTS HAVE A 7" EMBED AND SHALL BE J-BOLTS OR SHALL HAVE A HEX NUT AT THE BOTTOM END. SHALL NOT BE USED AT STEM WALL LOCATIONS WITH EDGE DISTANCE LESS THAN 5" (INSTEAD, USE EPOXY GROUTED ALL-THREADS OR TITEN HD ANCHORS). EPOXY GROUTED ANCHORS SHALL HAVE 5" EMBED AND 2 1/2" MIN. EDGE DISTANCE. TITEN HD ANCHORS SHALL HAVE 3 1/2" EMBED AND 1 1/2" MIN. EDGE DISTANCE. AT ALL ANCHOR BOLTS, PROVIDE STEEL PLATE WASHERS THAT ARE A MINIMUM OF 0.229" (3 GAUGE) x 3" x 3" (SIMPSON BP3/8-3 OR SIMILAR).

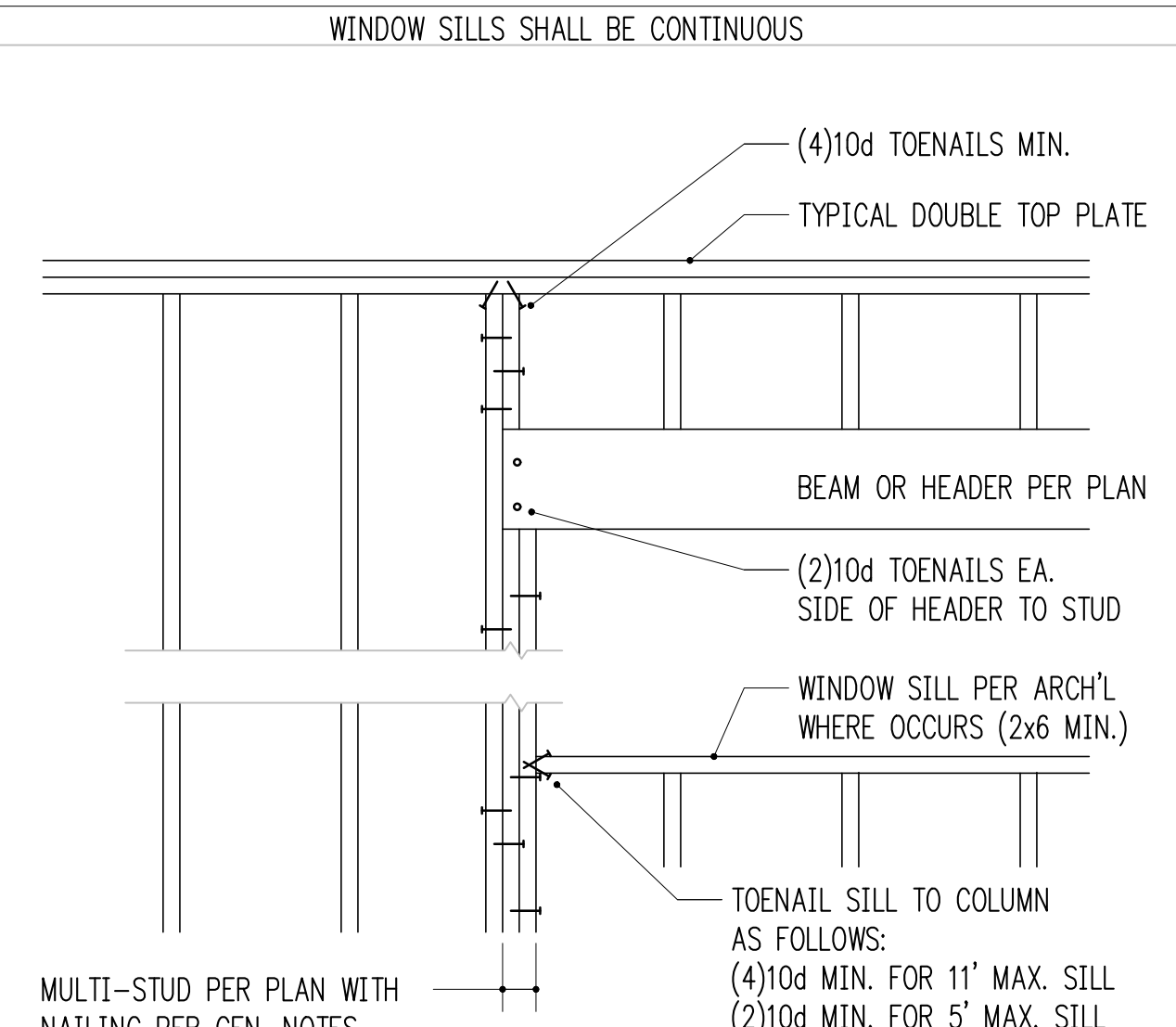


TYPICAL SHEARWALL ANCHOR BOLT PLACEMENT (N.T.S.)

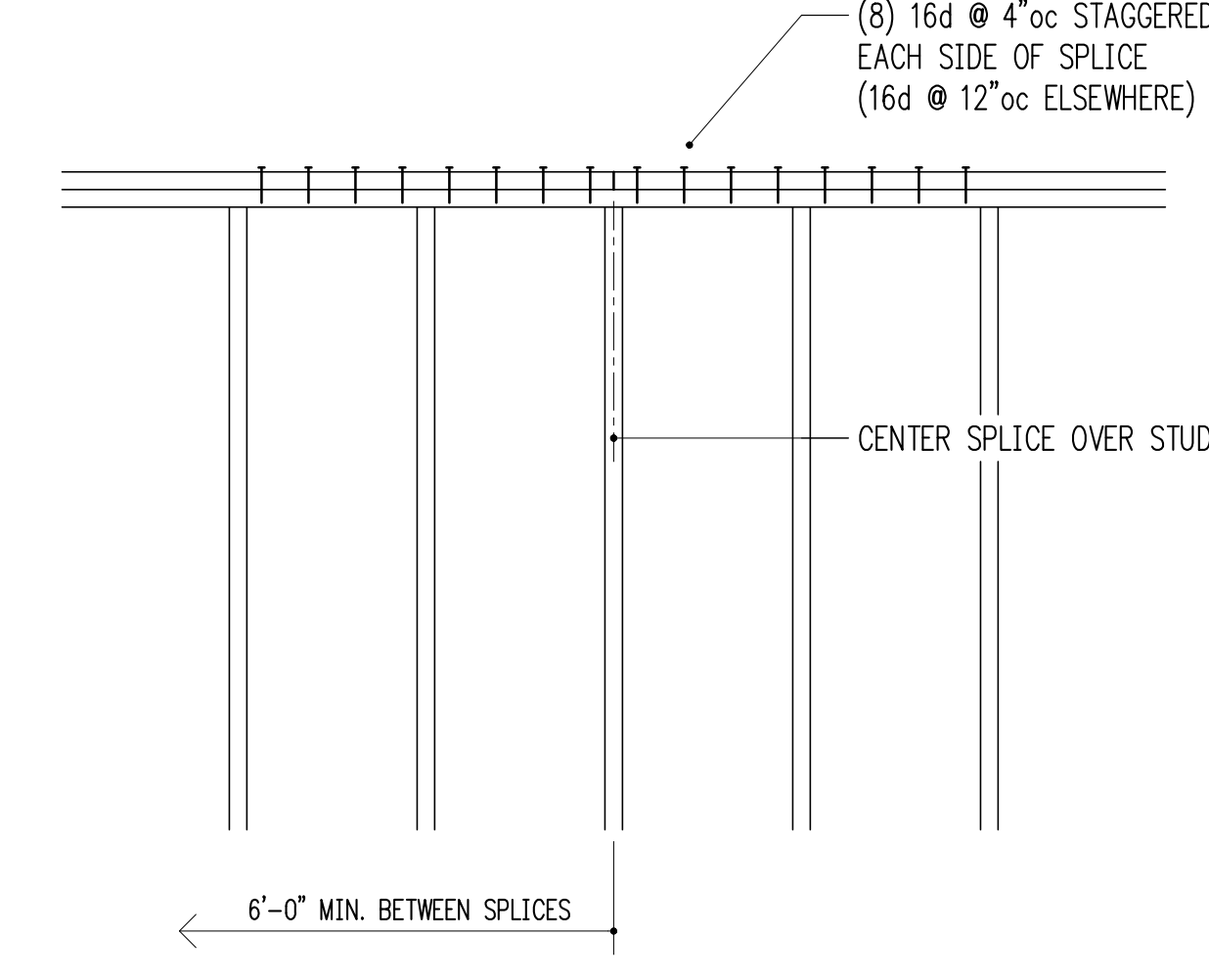
3/4" = 1'-0" 8



WF BEAM BEARING ON WOOD COLUMN (KERF)



TYPICAL MULTIPLE-STUD POST CONSTRUCTION



TYPICAL TOP PLATE SPLICE CONSTRUCTION

3/4" = 1'-0" 12

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Issue
1. 10/13/21 PERMIT
2. 3/30/22 CORRECTIONS
3.
4.
5.

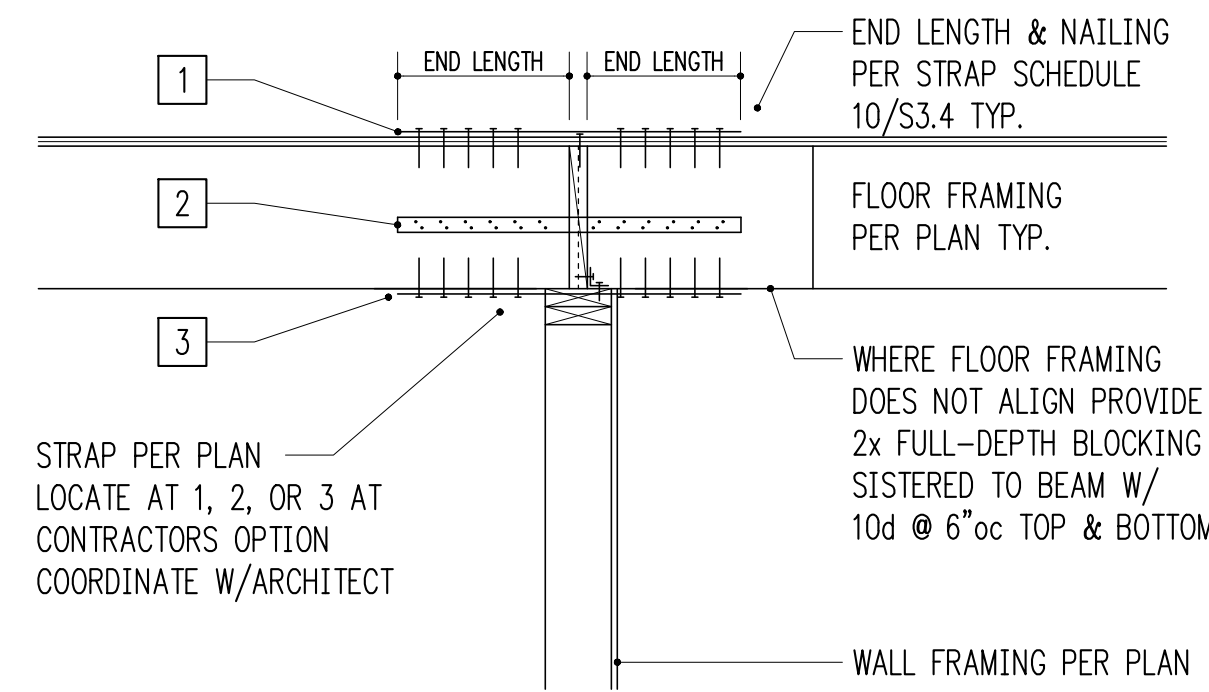
Print Date
3/30/22

Drawing Title
STRUCTURAL DETAILS

Drawing Number
S3.3

LOCATION NOTES:

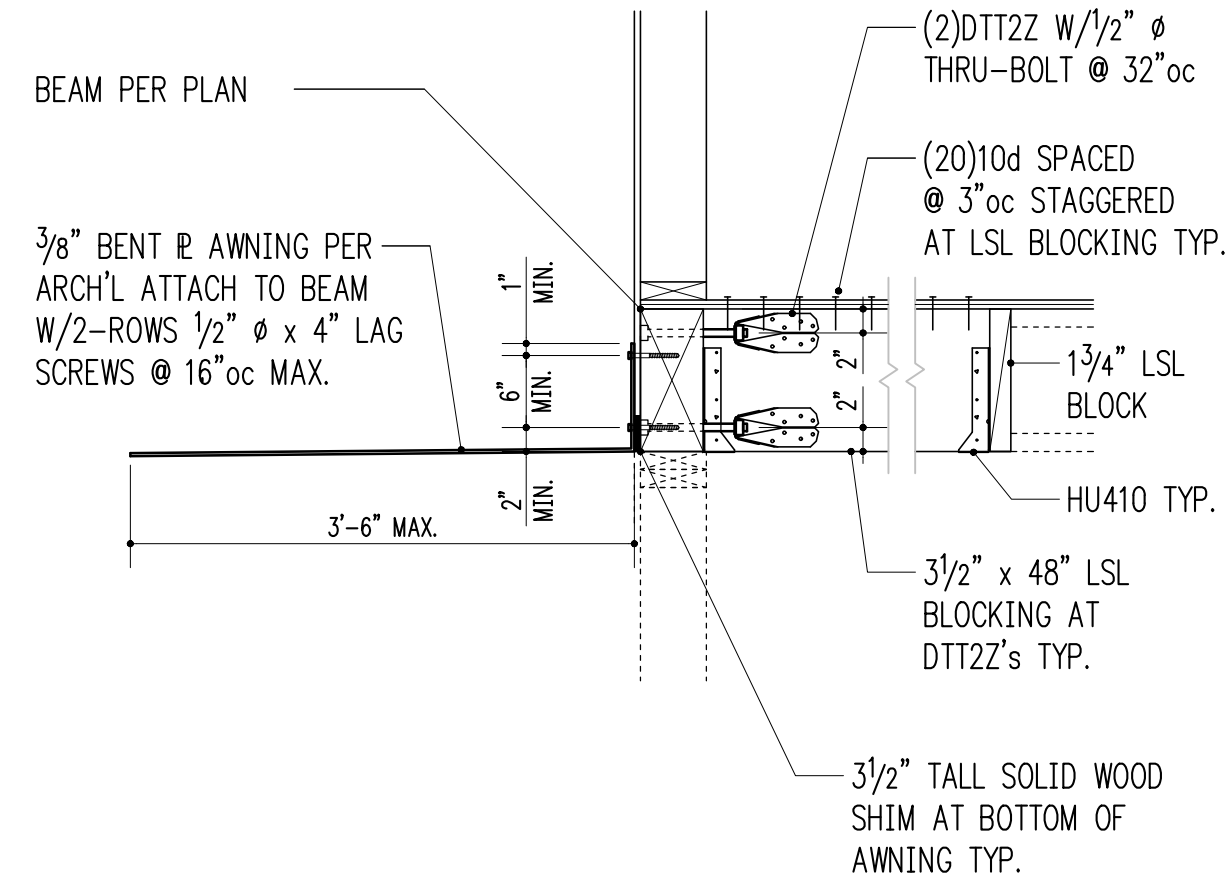
1. AT LOCATION #1 PLACE STRAP OVER SHEATHING. COORDINATE W/FLOOR FINISH.
2. AT LOCATION #2 PLACE ON SIDE OF FRAMING OR BLOCKING. IF TJI BLOCK WEB WITH HORIZONTAL 2x6 x 3x END LENGTH & ATTACH W/2-ROWS 10d @ 6"oc.
3. AT LOCATION #3 PLACE STRAP ON FRAMING & COORDINATE W/CEILING FINISH.



TYPICAL HORIZONTAL STRAP

3/4" = 1'-0"

BENT IN AWNING TO BE A36 STEEL UNLESS NOTED OTHERWISE.
STEEL EXPOSED TO WEATHER SHALL BE PAINTED OR HOT DIPPED GALVANIZED
PER ARCH'L & ASTM A123



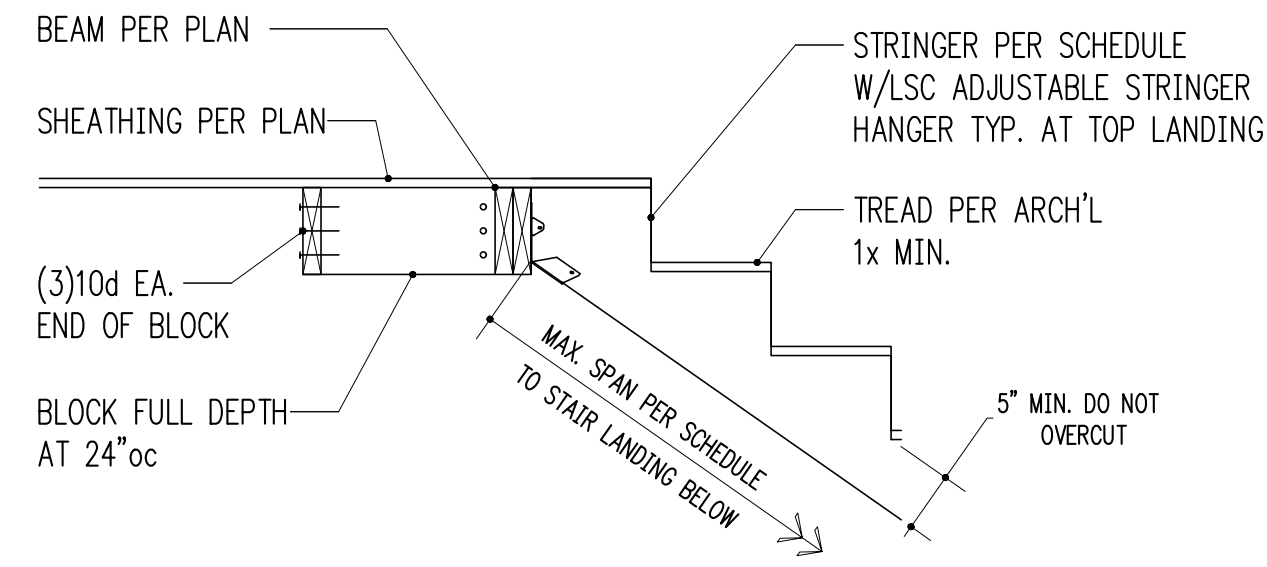
BENT IN AWNING AT FLOOR

3/4" = 1'-0"

STAIR DIMENSIONS PER ARCH'L & THE INTERNATIONAL RESIDENTIAL CODE

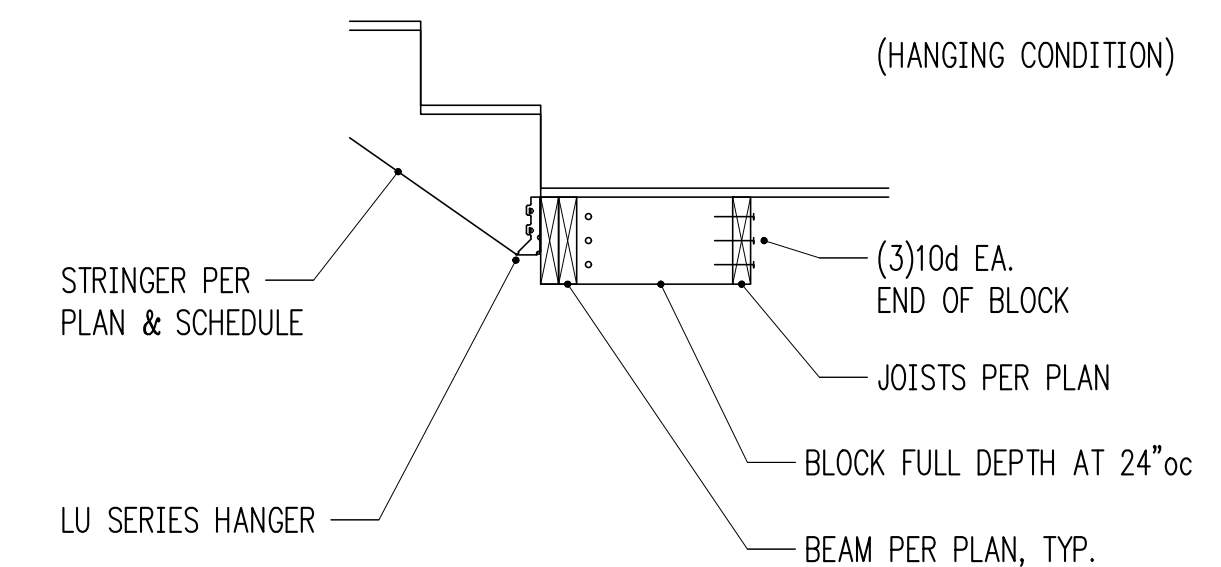
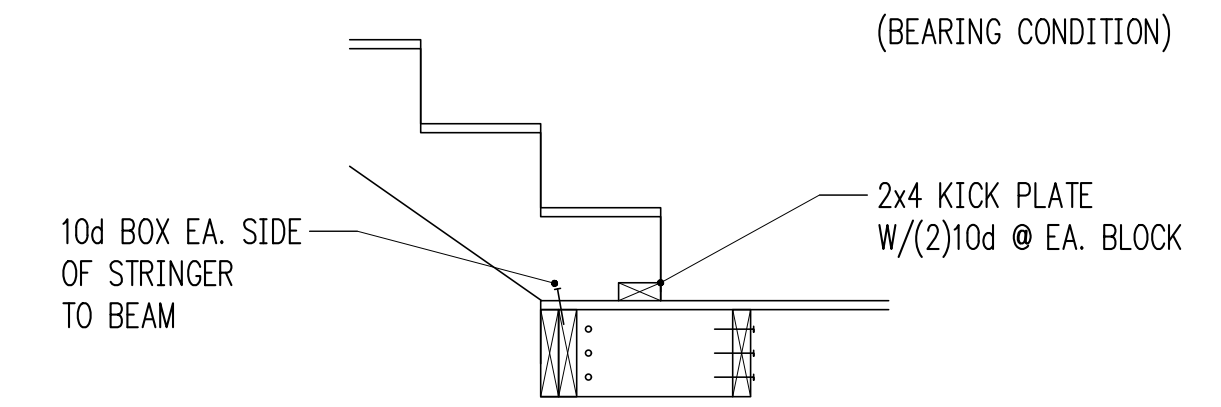
STRINGER SCHEDULE

MAX. SPAN	STRINGER	SPACING
10 FT.	2x DF#1 STRINGER	@ 16"oc
12 FT.	(2)2x DF#1 STRINGER	@ 16"oc
13 FT.	(2)2x DF#1 STRINGER	@ 12"oc



TYPICAL WOOD STAIR STRINGER

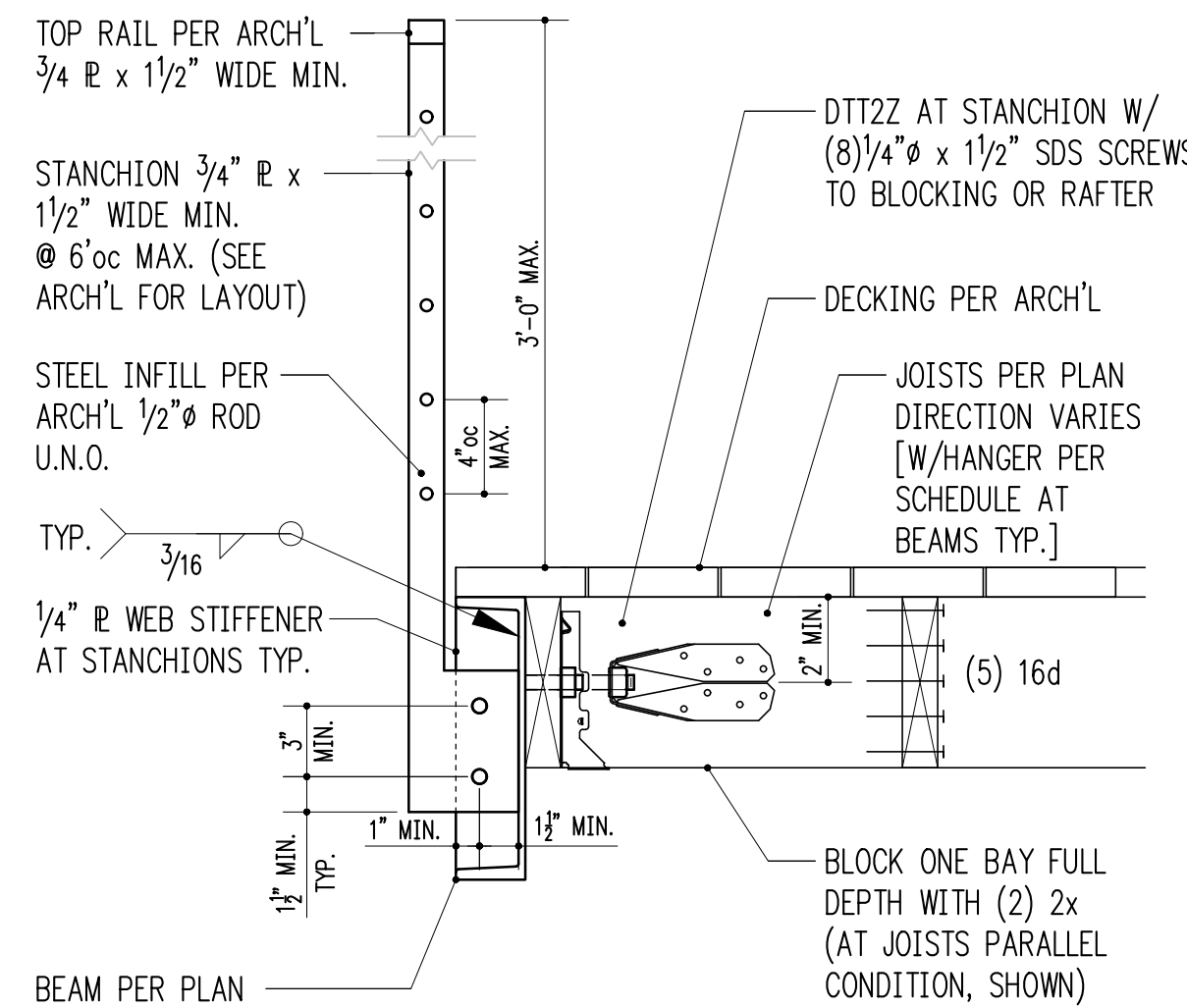
3/4" = 1'-0"



TYP. STRINGER AT LOWER LANDING

3/4" = 1'-0"

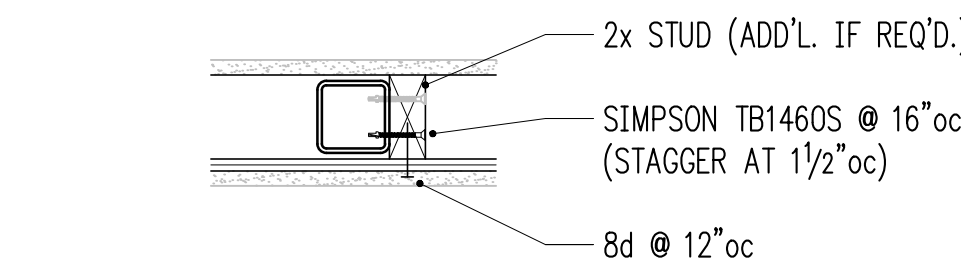
STEEL EXPOSED TO WEATHER SHALL BE PAINTED OR HOT DIPPED GALVANIZED
PER ASTM A123, COORDINATE WITH ARCHITECT



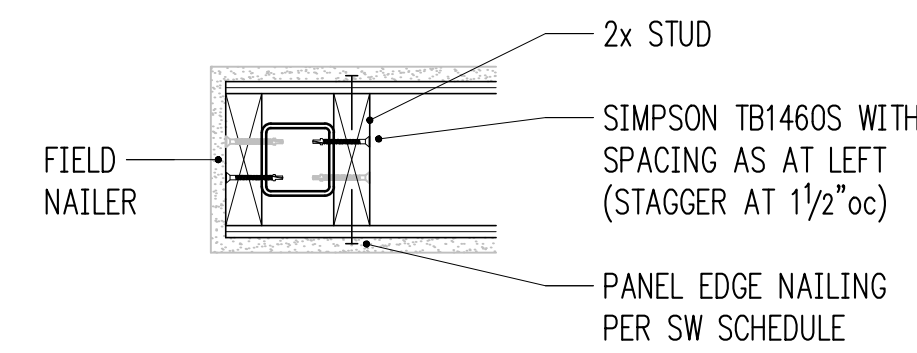
1-1/2" = 1'-0"

NAILER TYPE:

STUD WALL OR SHEARWALL FIELD NAILER



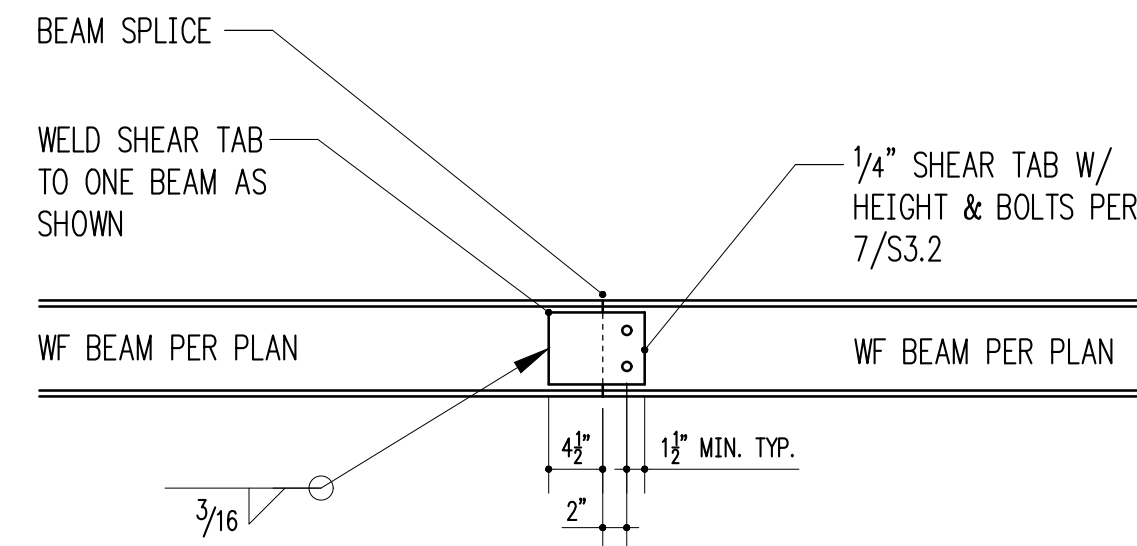
SHEARWALL BOUNDARY NAILER



- SW1 16"oc
- SW2 12"oc
- SW3 9"oc
- SW4 7"oc
- SW5 4 1/2"oc
- SW6 3 1/2"oc

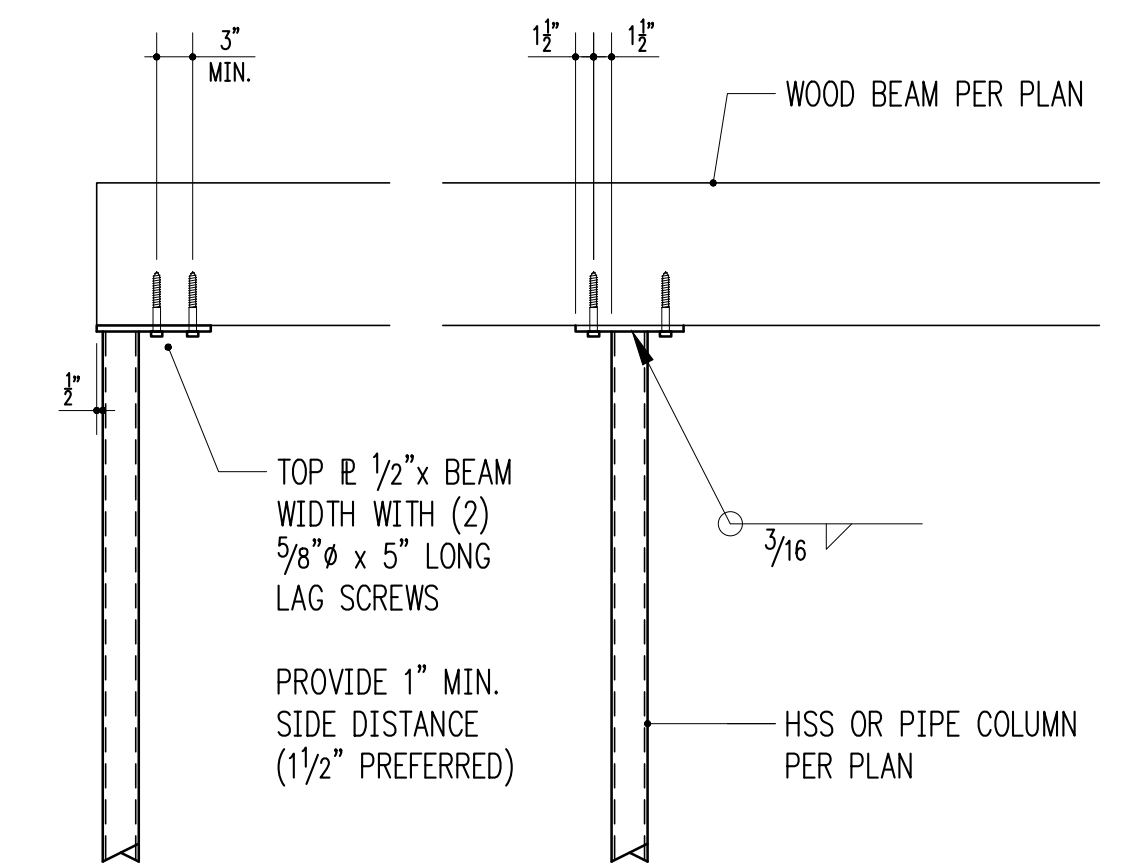
HSS COLUMN NAILERS

1-1/2" = 1'-0"



WF BEAM TO END OF WF BEAM

3/4" = 1'-0"



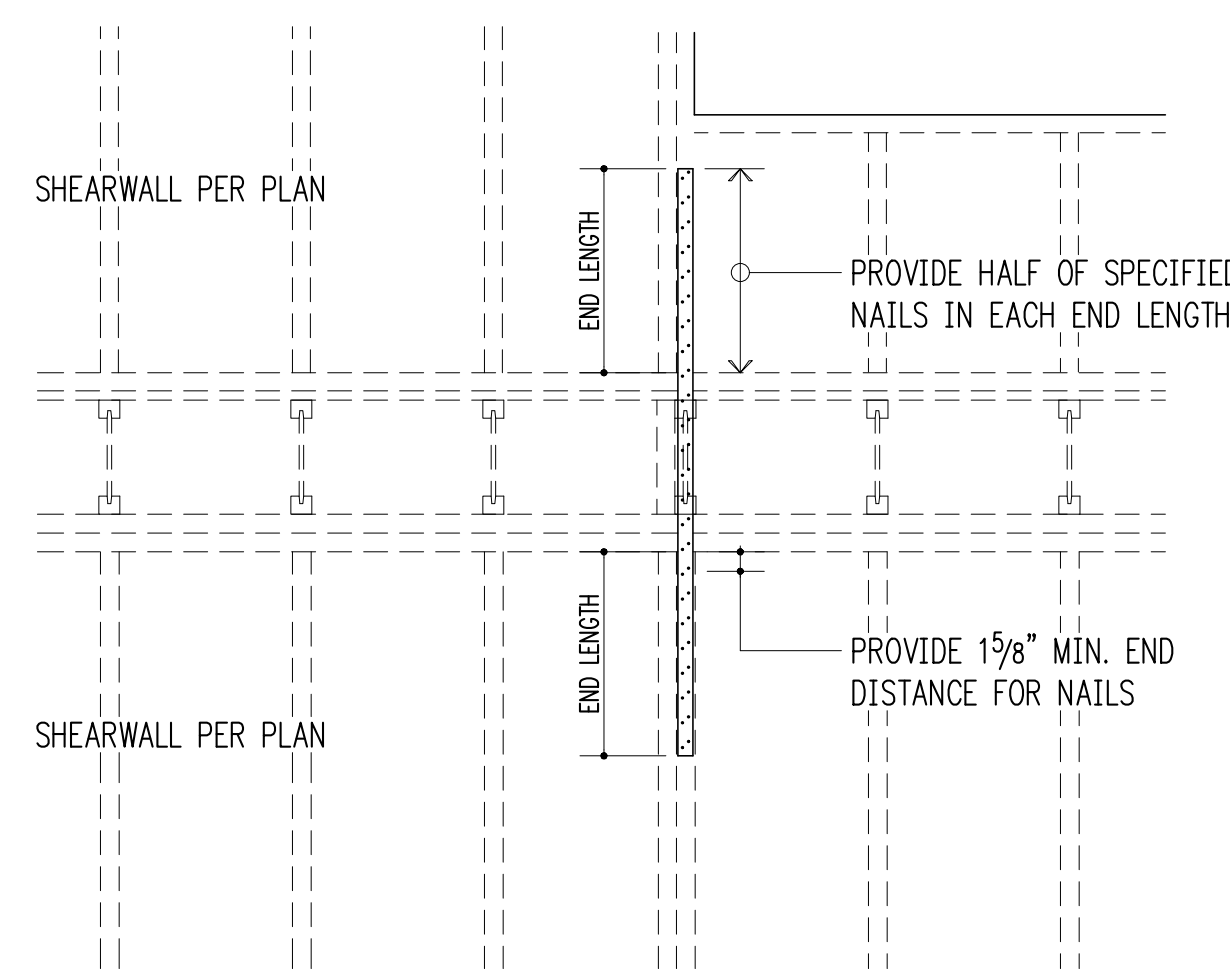
WOOD BEAM BEARING ON STEEL COLUMN

3/4" = 1'-0"

STRAP SCHEDULE

MARK	END LENGTH	NAILS	NAIL SPACING
CMST12	44"	(98) 10d x 3"	1 3/4"
CMST14	34"	(76) 10d x 3"	1 3/4"
CMSTC16	25"	(58) 12d x 3 1/4"	1 1/2"
CS14	19"	(36) 8d x 2 1/2"	2 1/16"
CS16	14"	(26) 8d x 2 1/2"	2 1/16"
CS18	12"	(22) 8d x 2 1/2"	2 1/16"
CS20	9"	(16) 8d x 2 1/2"	2 1/16"
CS22	8"	(14) 8d x 2 1/2"	2 1/16"

1. 10d AND 12d DIAMETER = 0.148"; 8d DIAMETER = 0.131".
2. USE HALF OF THE REQUIRED NAILS IN EACH MEMBER BEING CONNECTED (i.e. IN EACH END LENGTH).



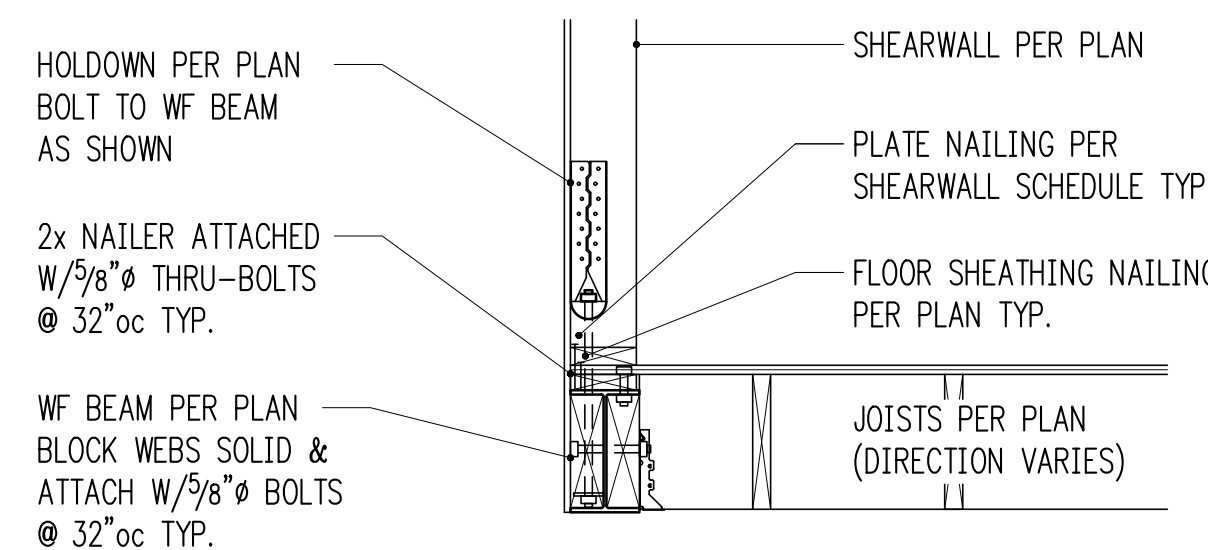
TYPICAL STRAP HOLDOWN AT FLOOR

3/4" = 1'-0"

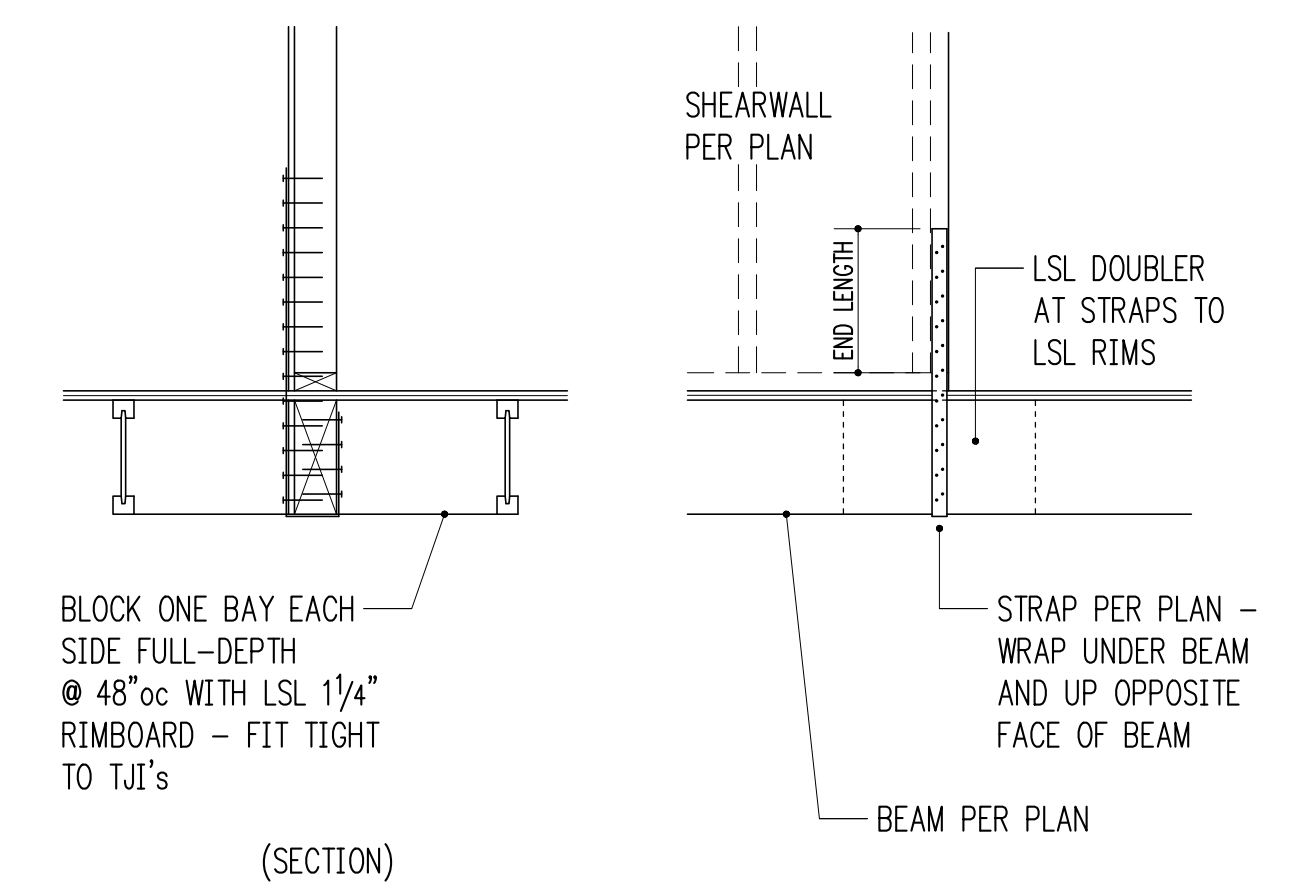
HOLDOWN SCHEDULE

MARK	FASTENERS TO STUDS ¹	ANCHOR ²
HDU2	(6) 1/4" Ø x 2 1/2" SCREWS	5/8"
HDU4	(10) 1/4" Ø x 2 1/2" SCREWS	5/8"

1. 10d AND 12d DIAMETER = 0.148"; 16d DIAMETER = 0.162". SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.
2. PROVIDE A36 OR A307 ALL-THREAD.



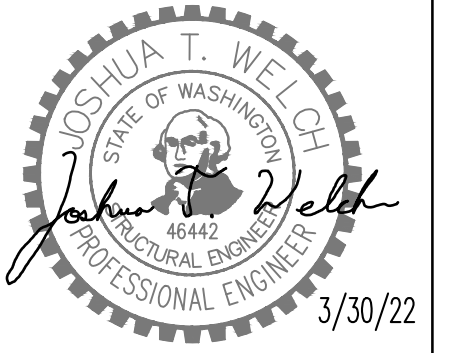
3/4" = 1'-0"



TYPICAL STRAP AT BEAM (PARALLEL)

3/4" = 1'-0"

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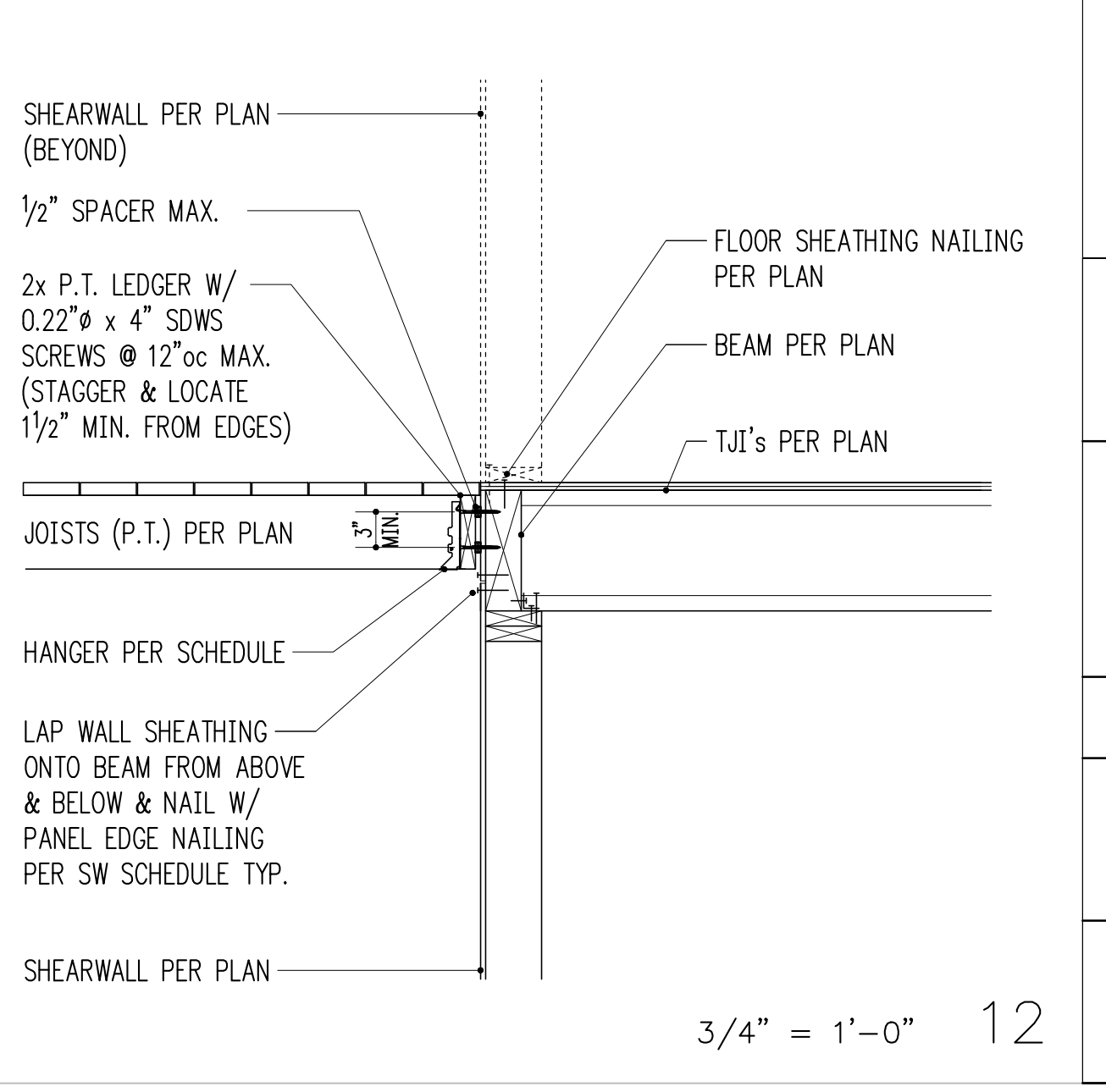
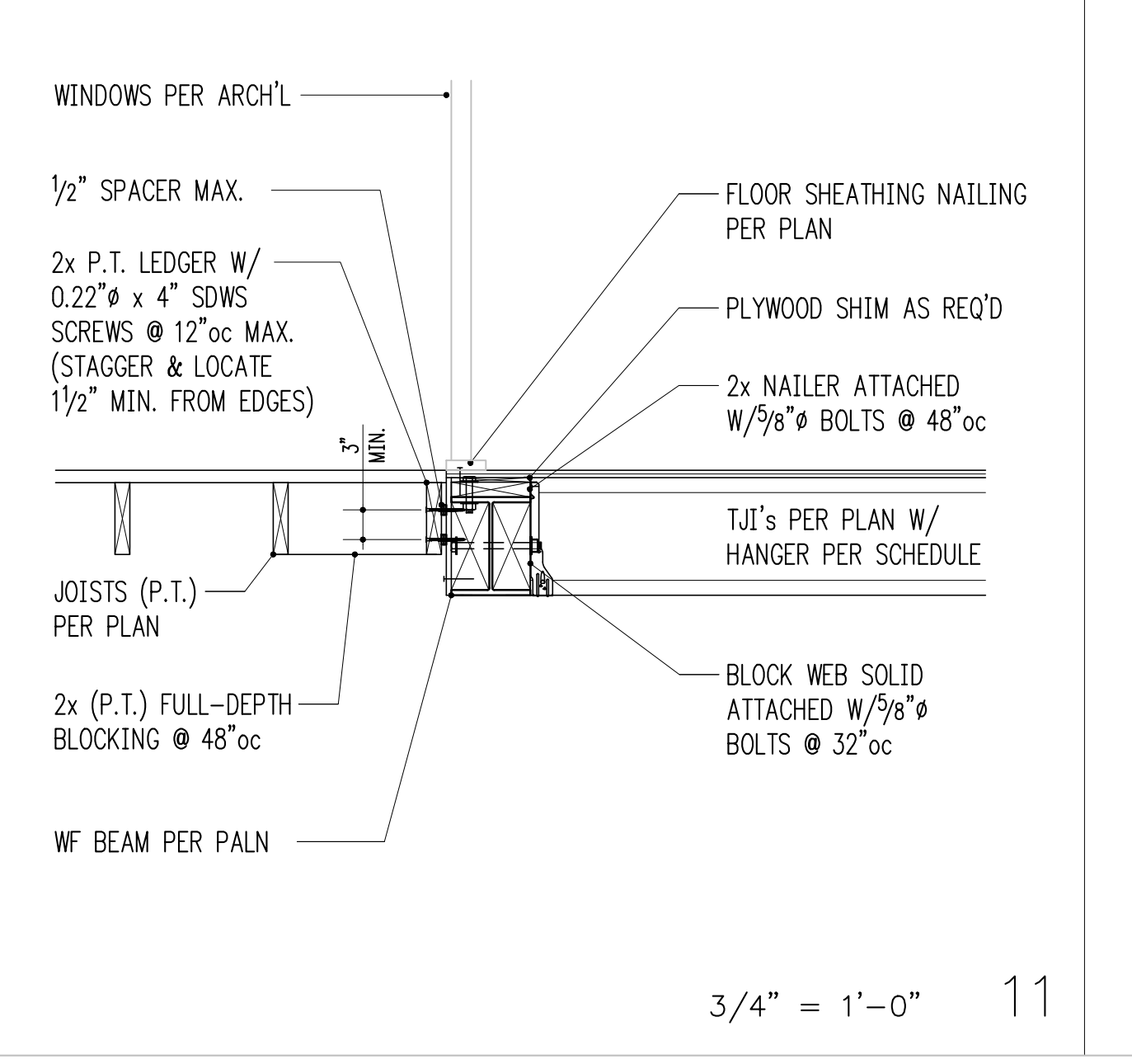
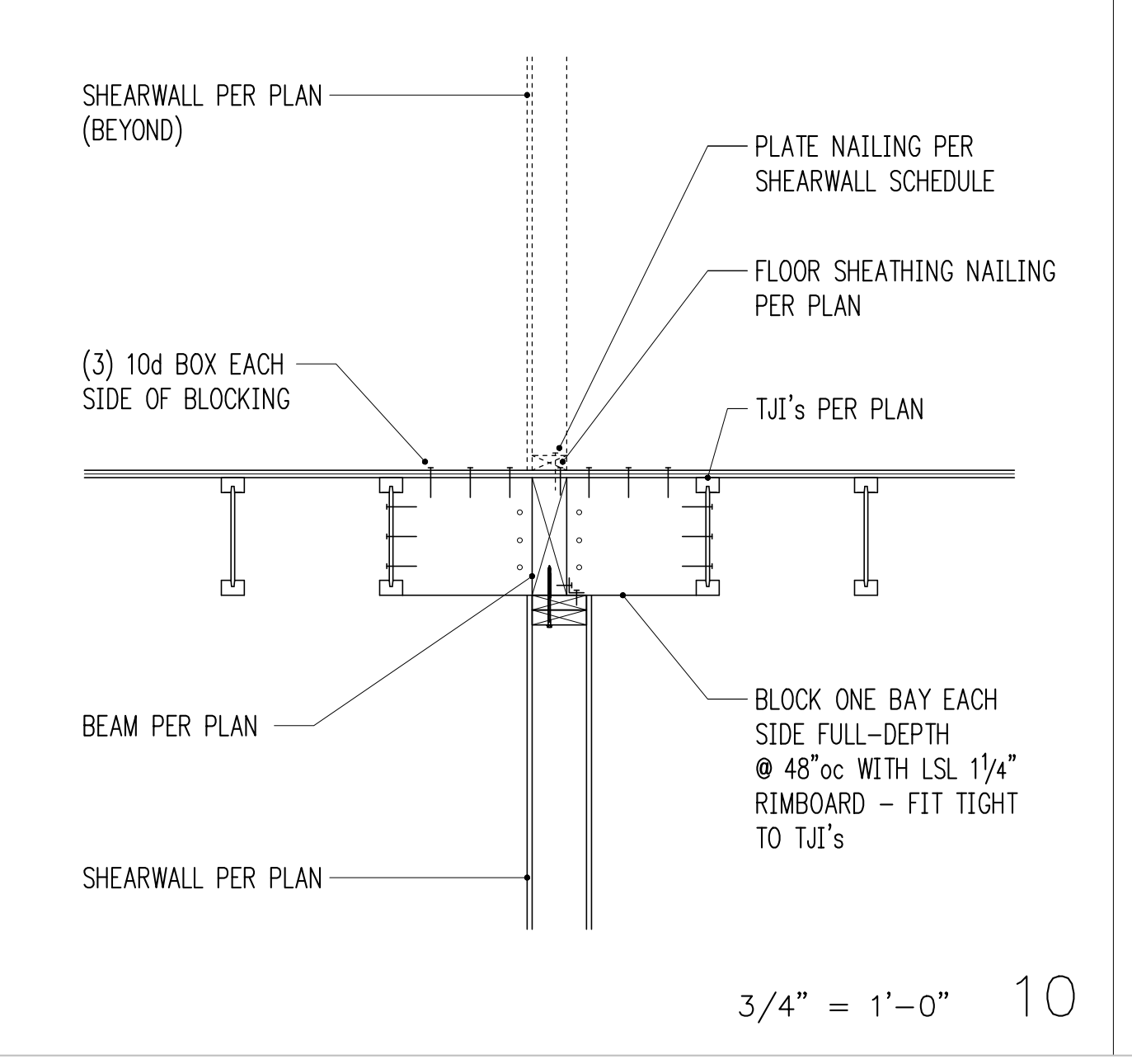
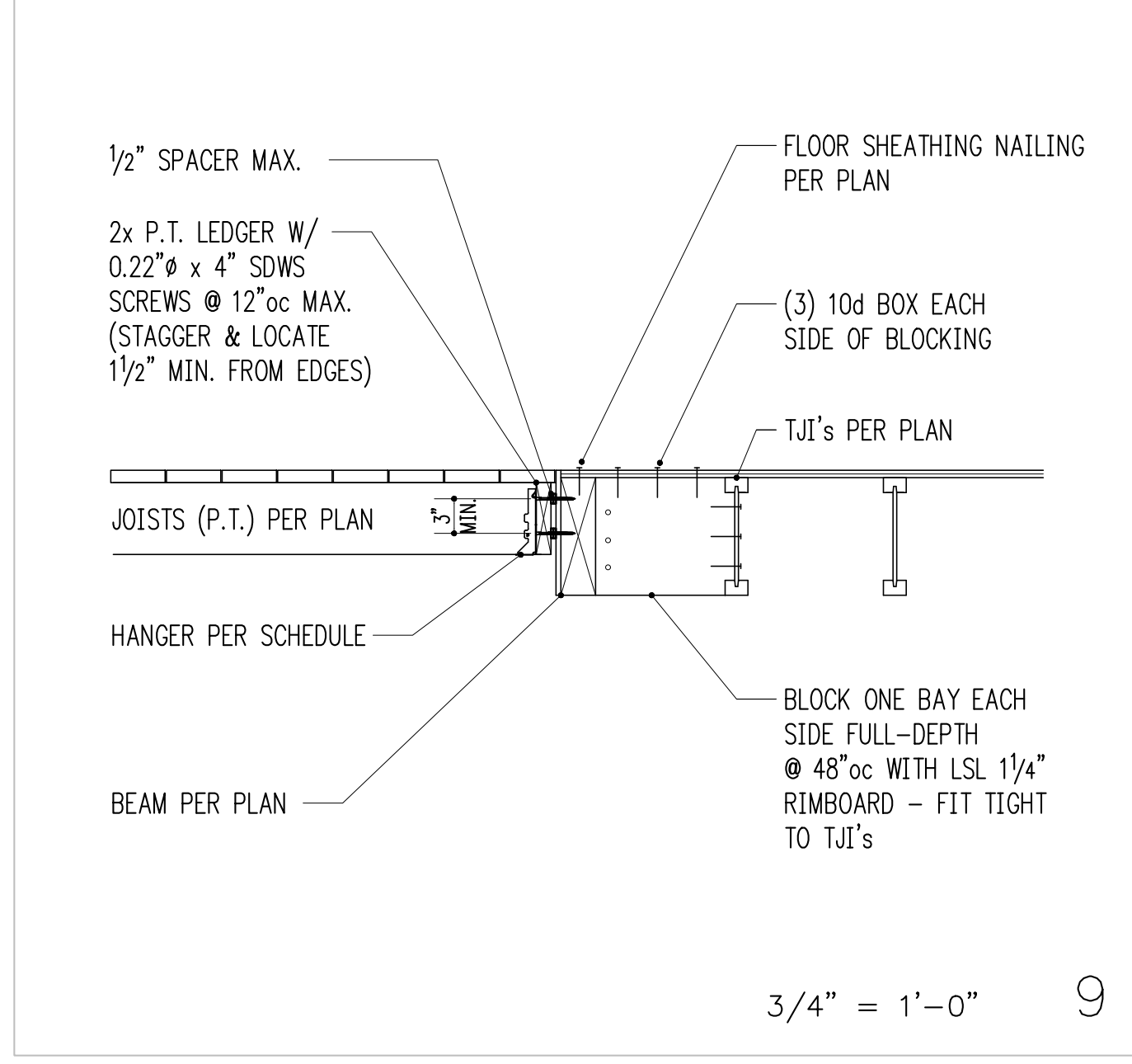
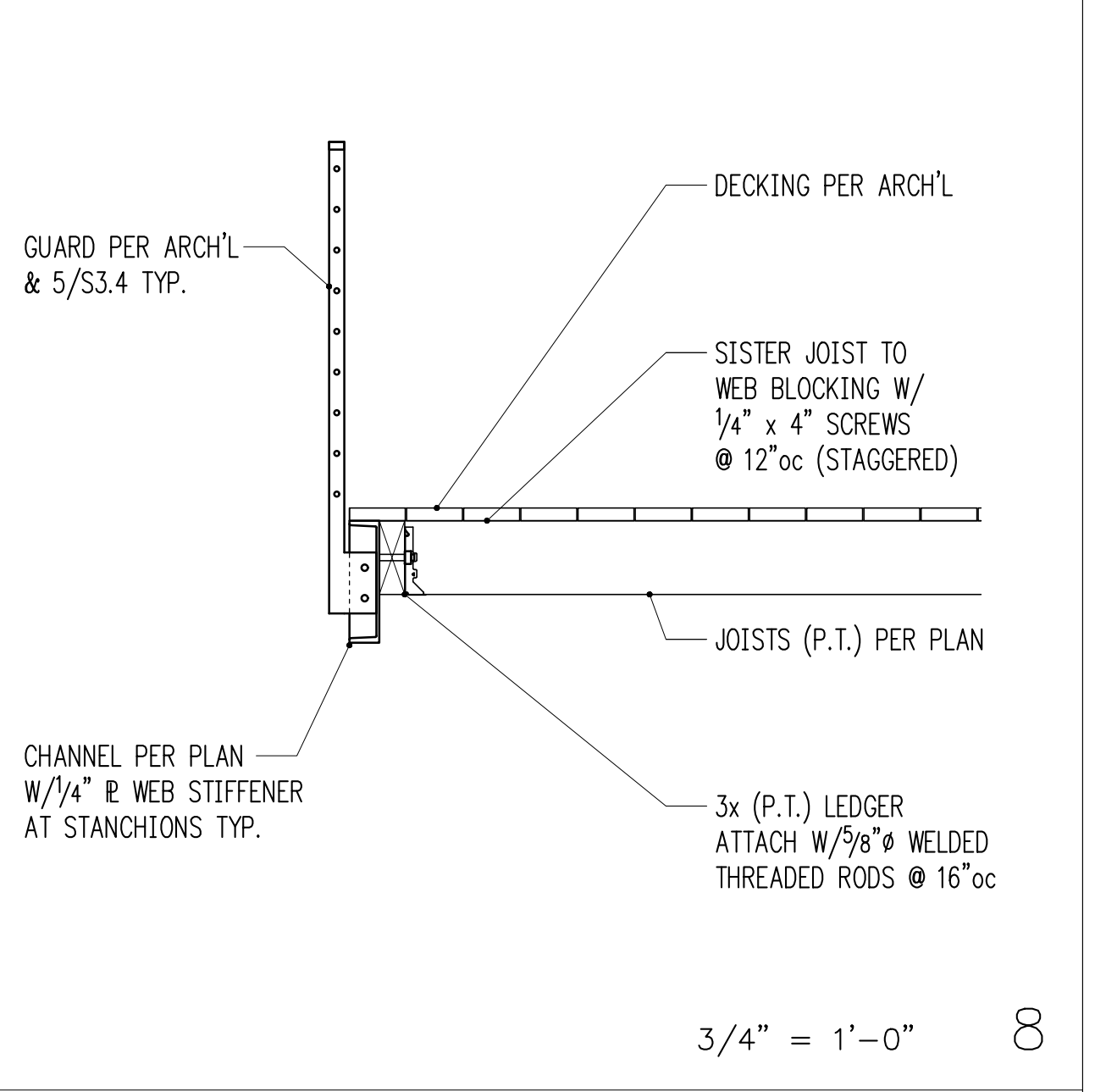
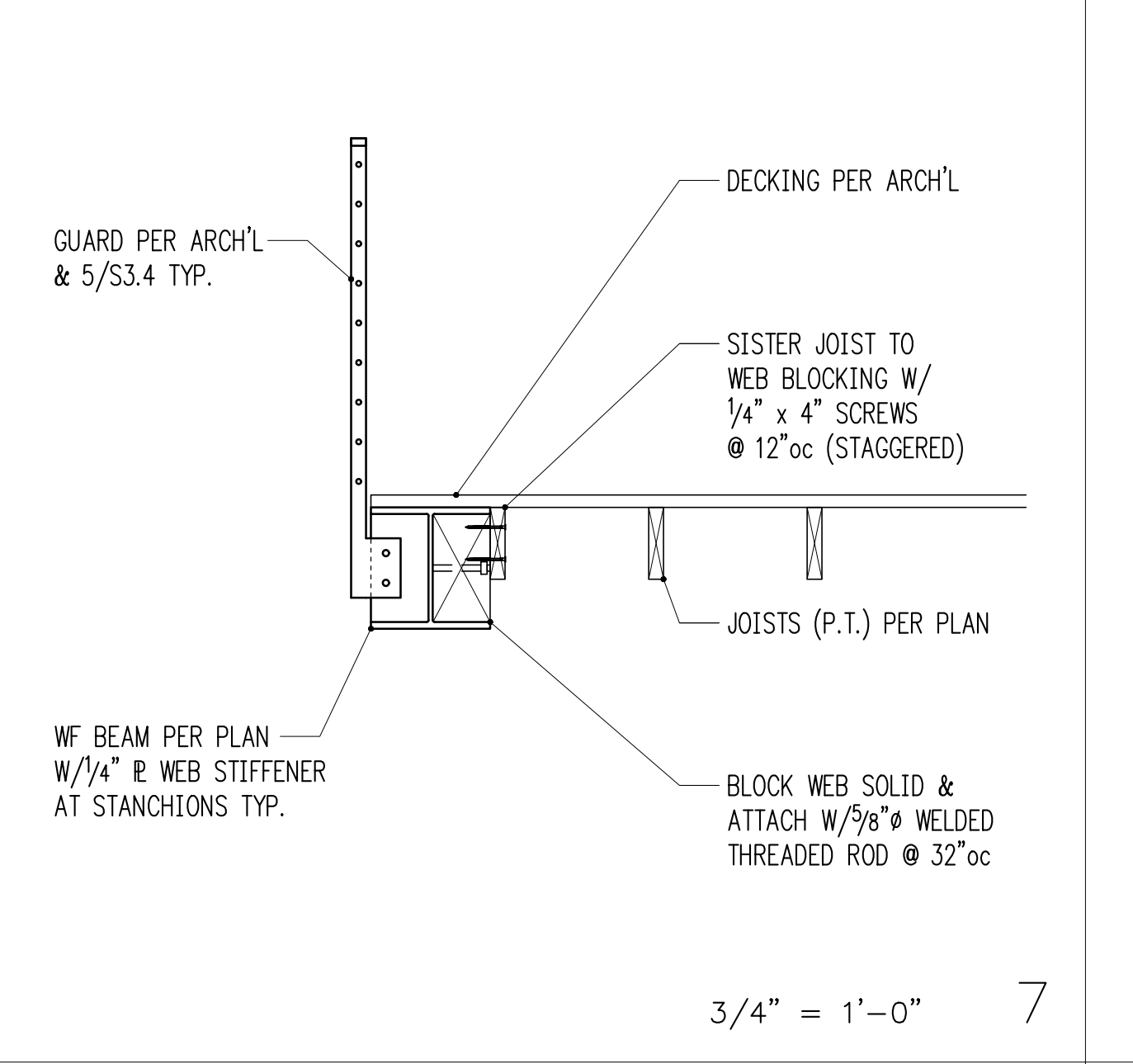
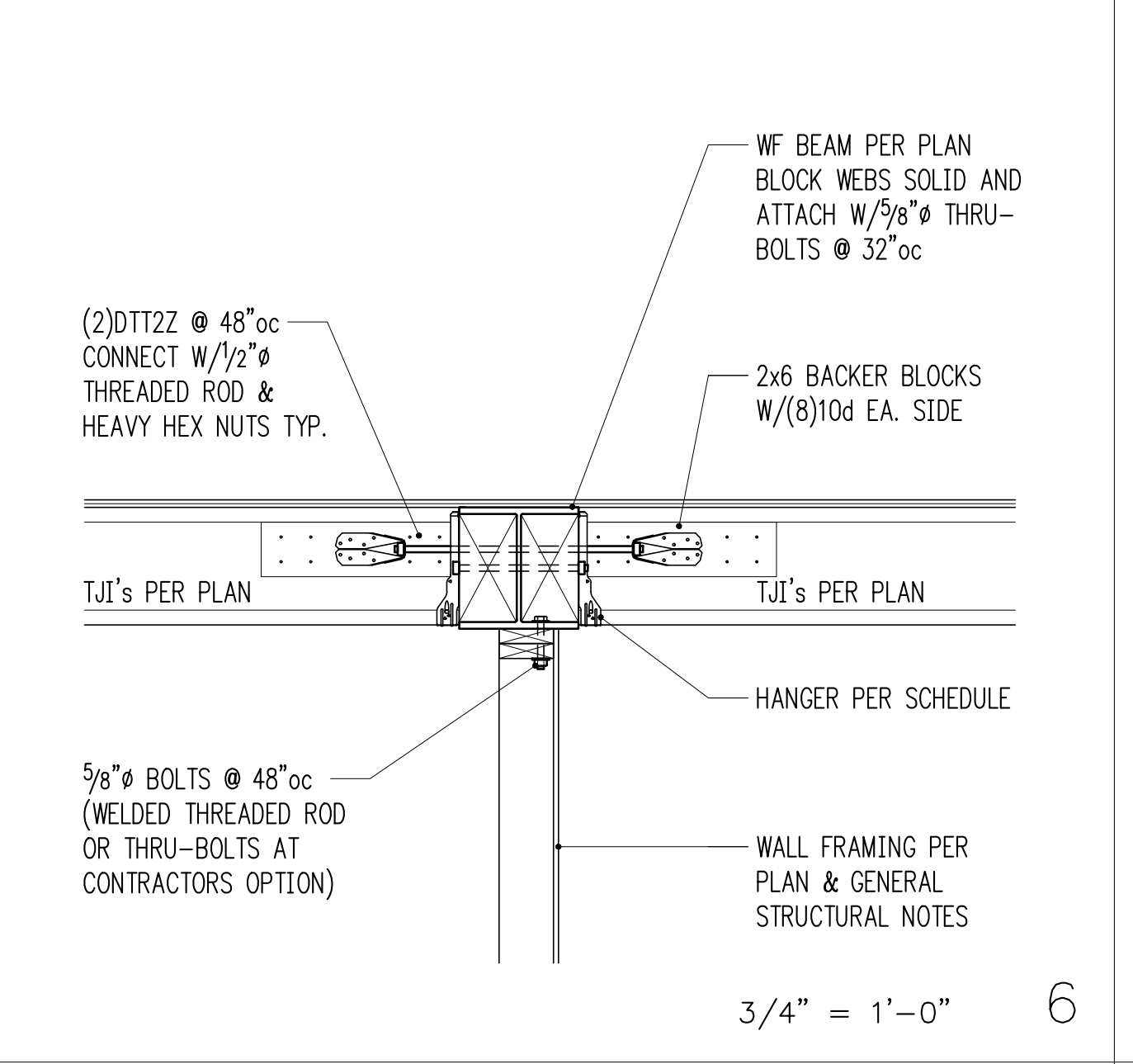
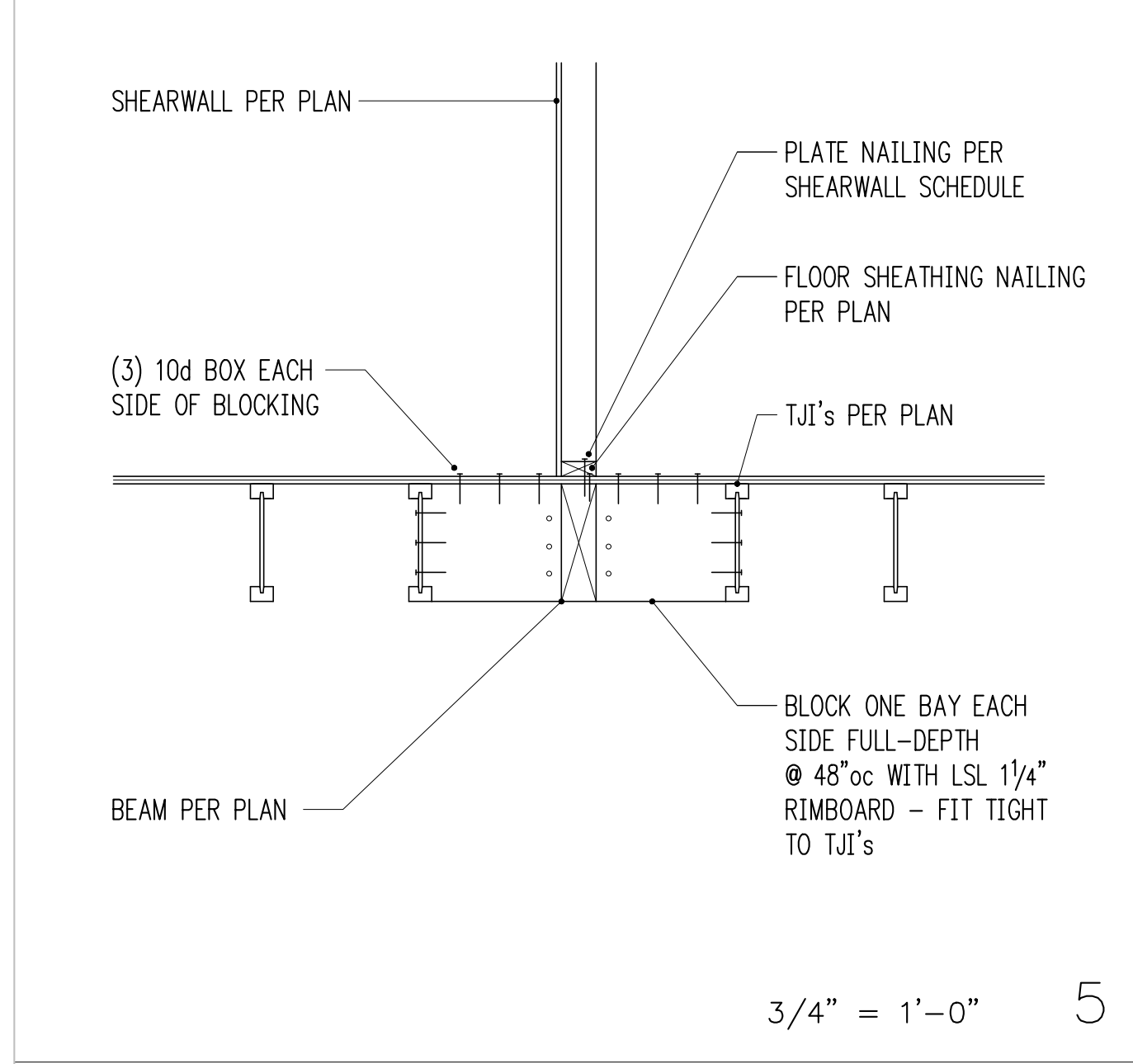
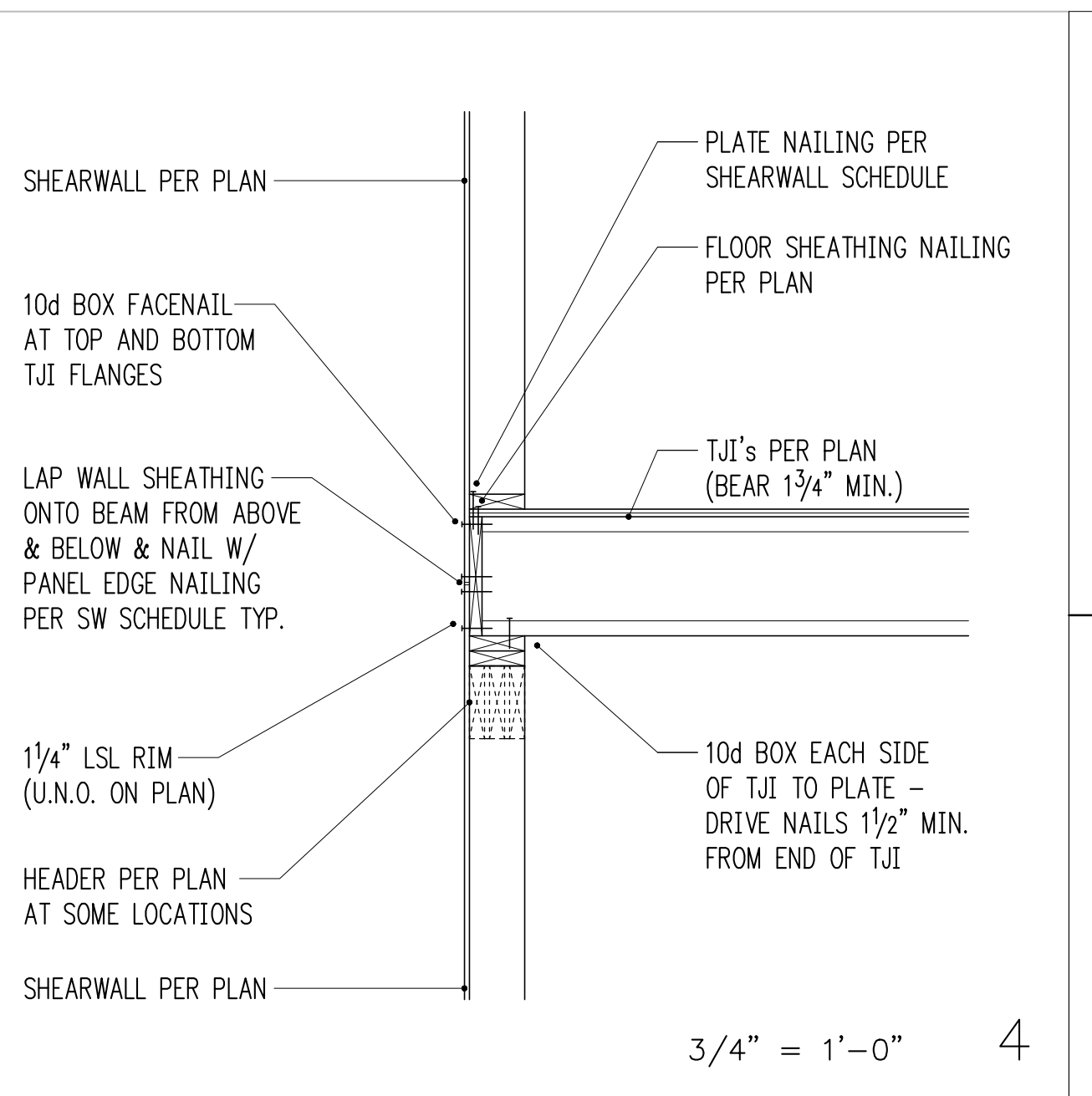
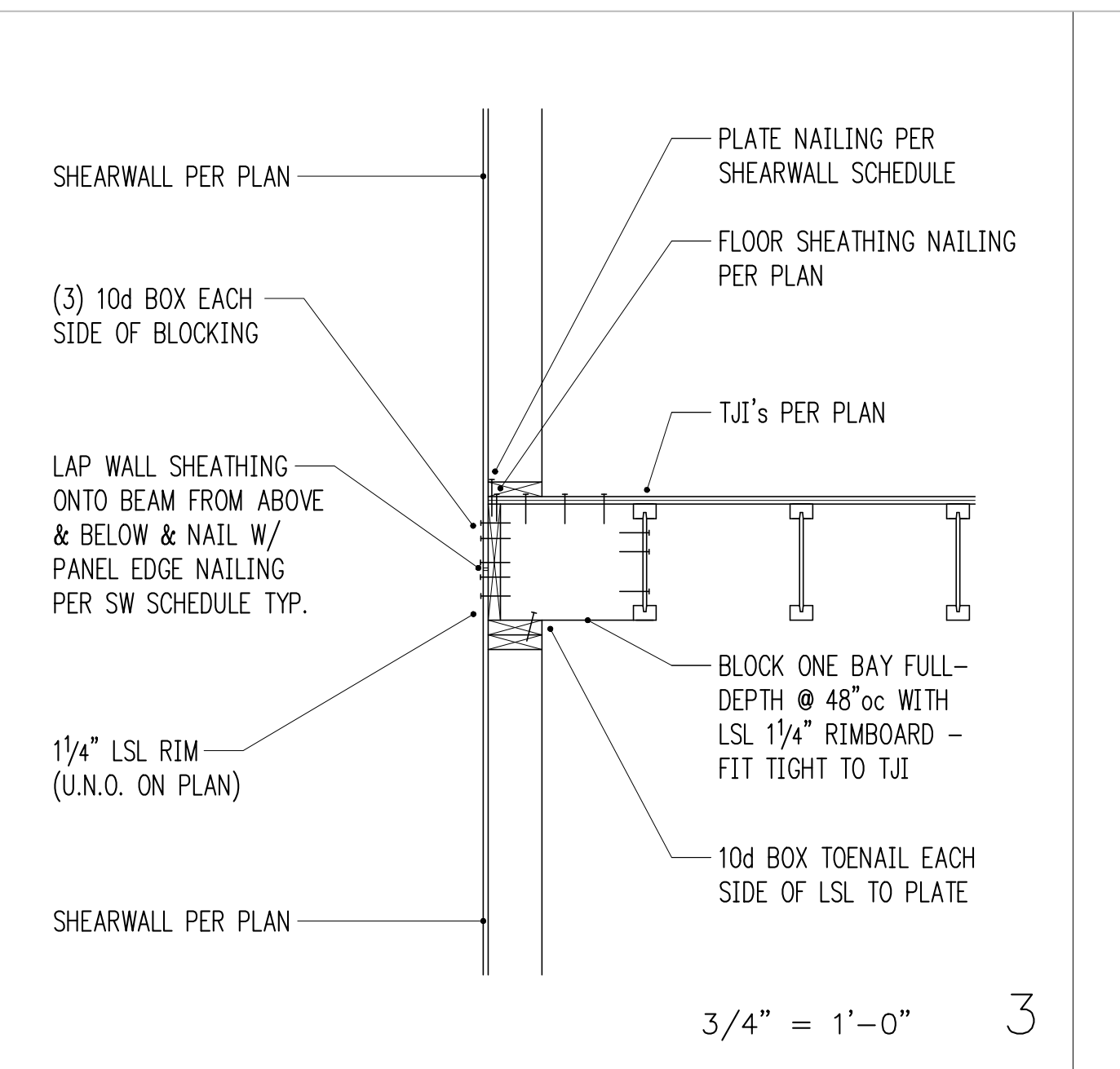
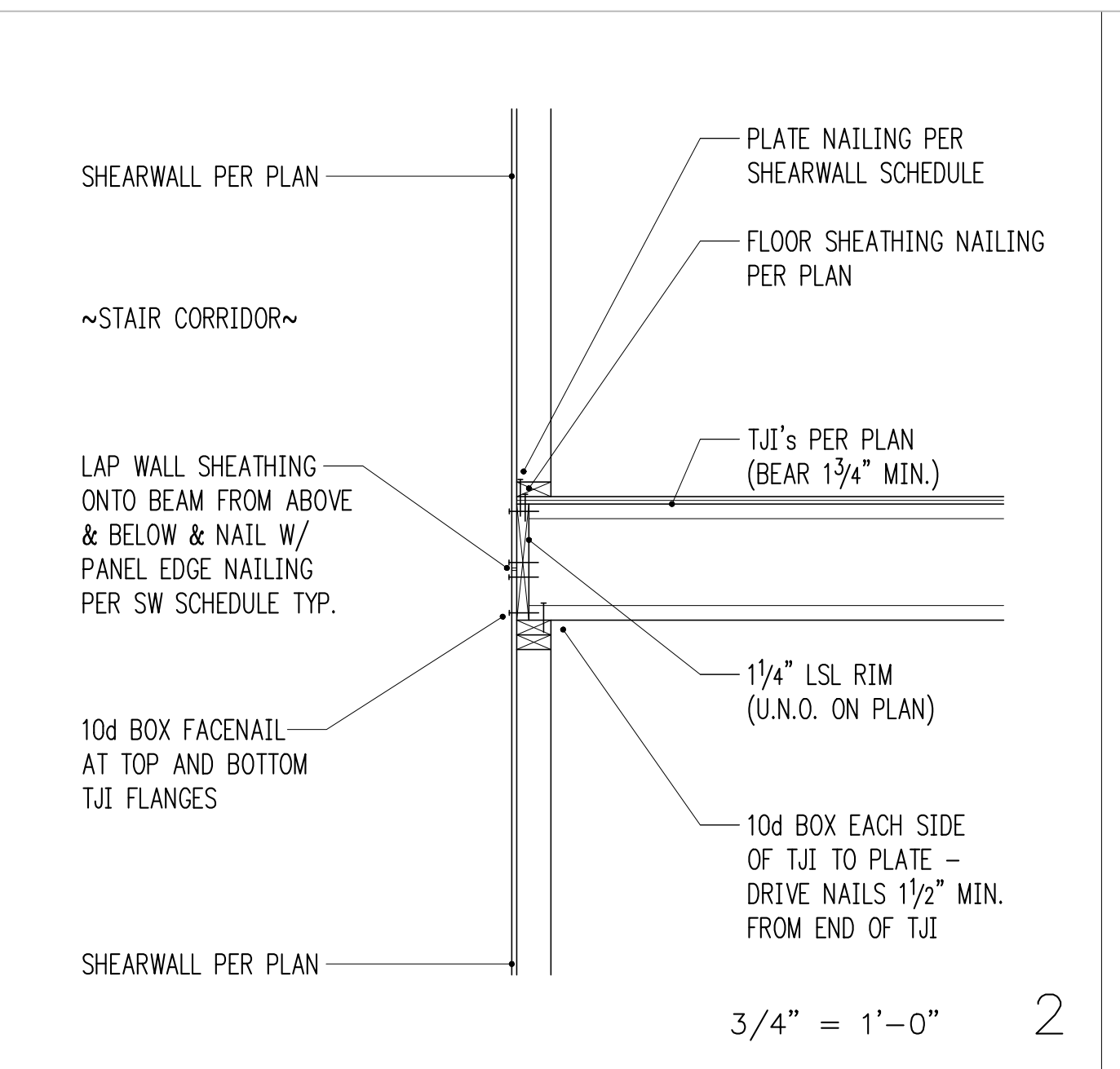
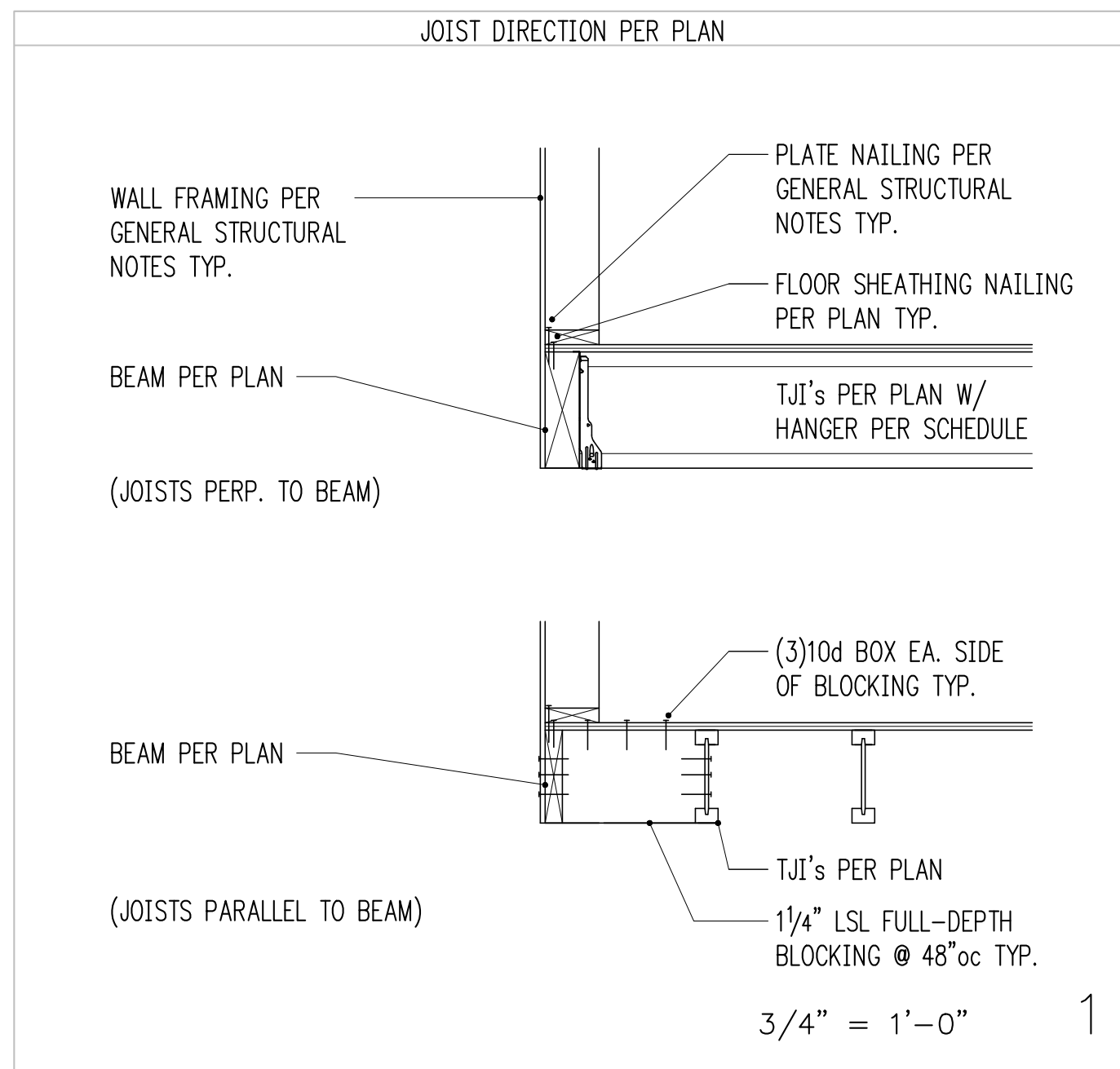
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3/30/22

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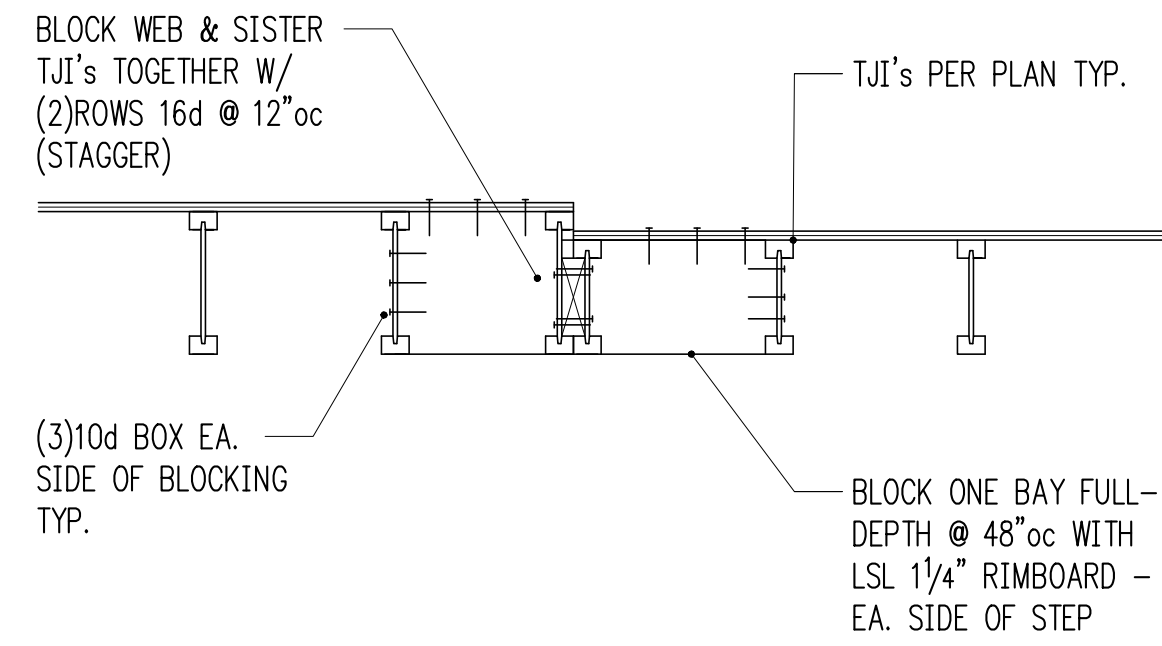
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1.	10/13/21	PERMIT
2.	3/30/22	CORRECTIONS
3.		
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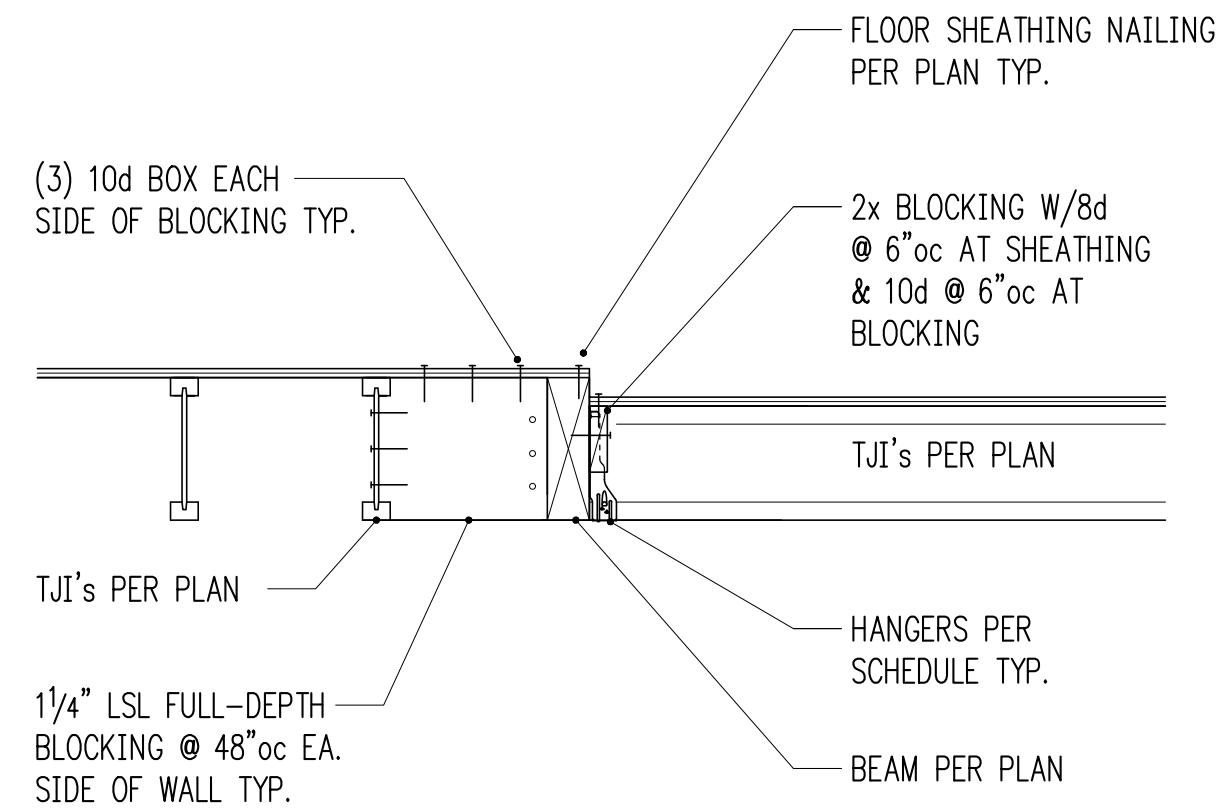
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Drawing Title
STRUCTURAL DETAILS

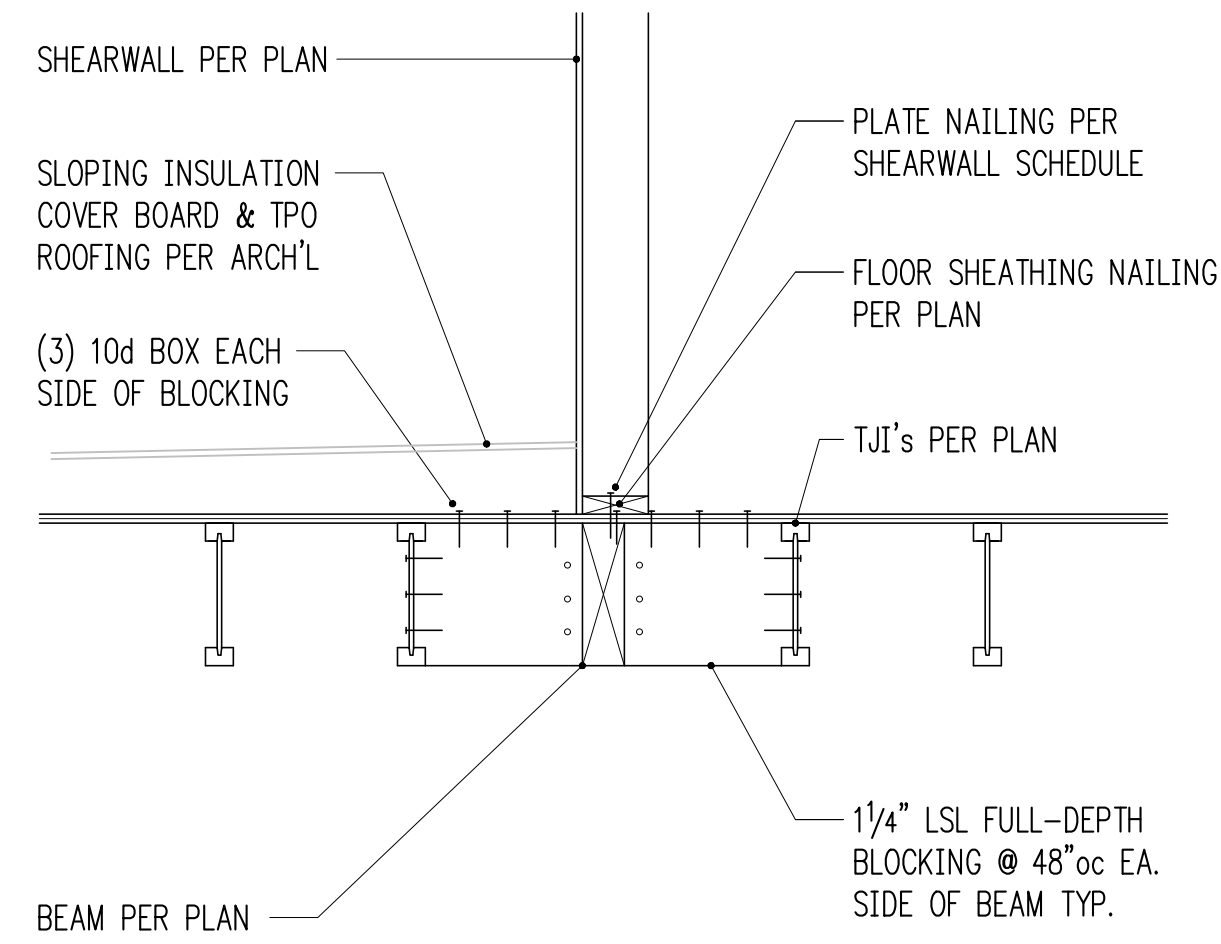
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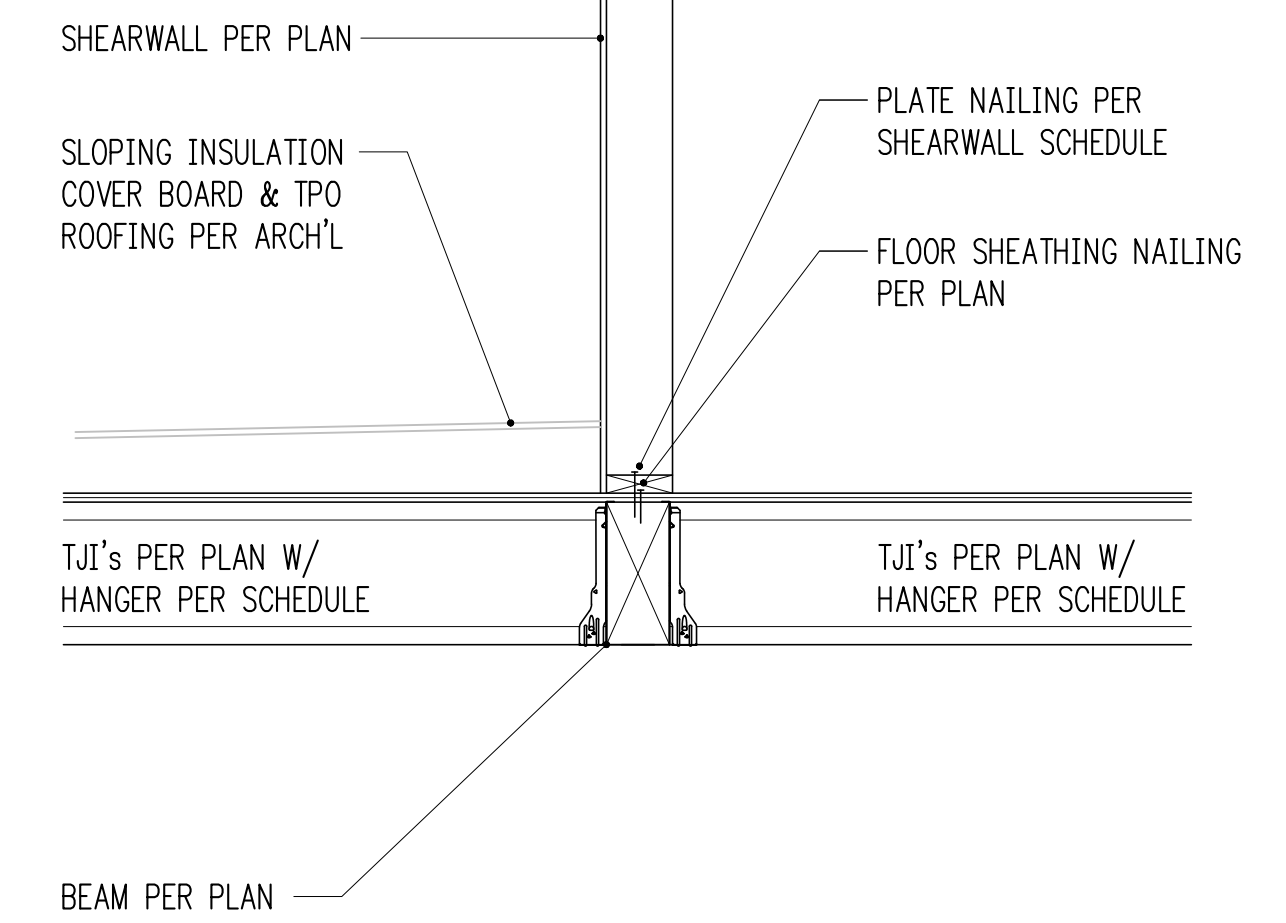
3/4" = 1'-0" 1



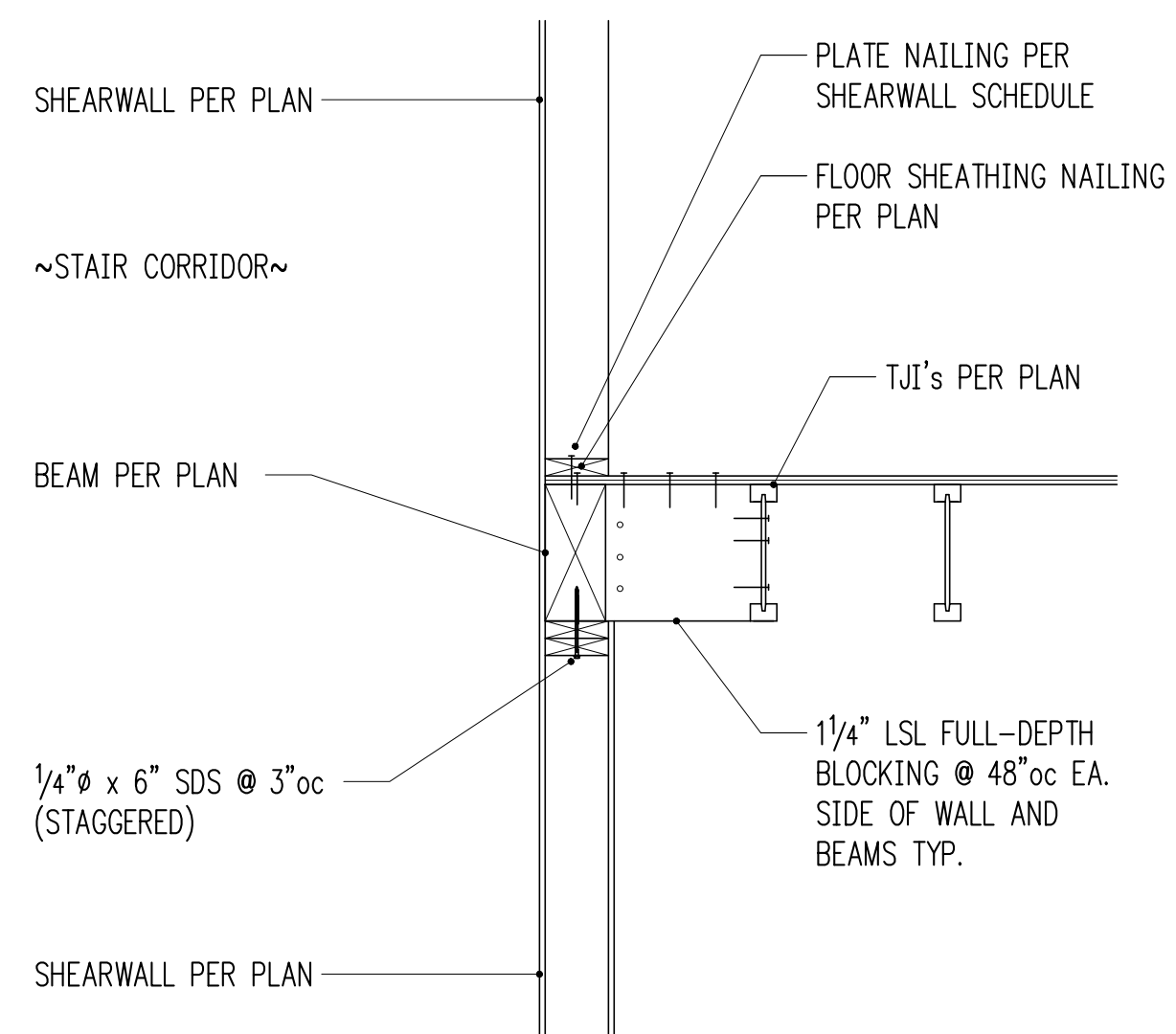
3/4" = 1'-0" 2



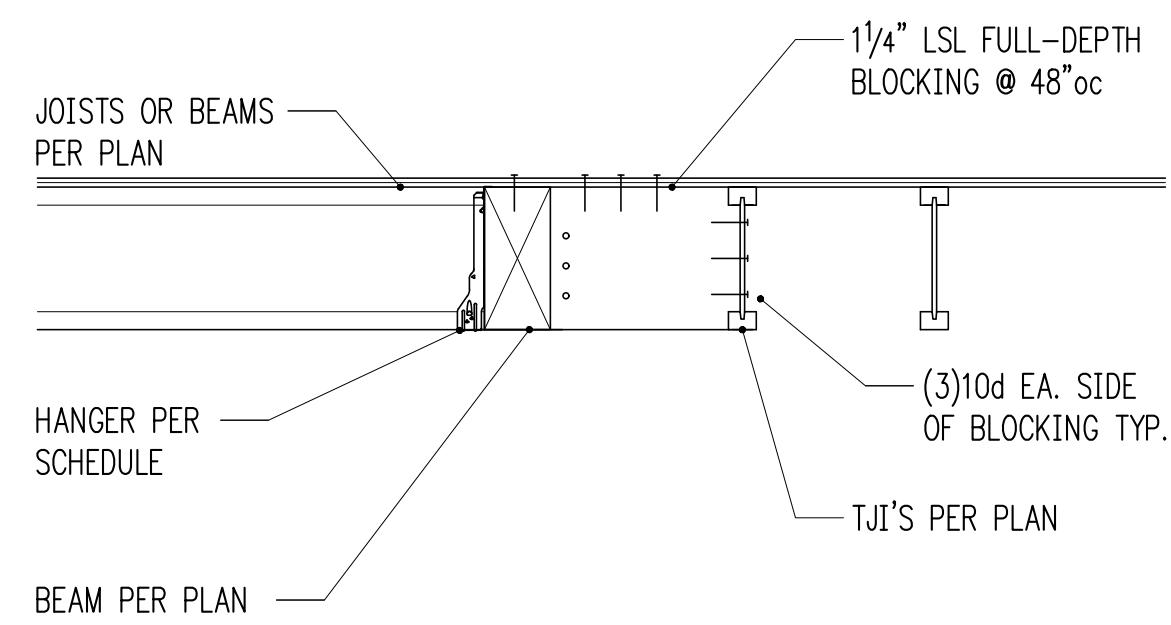
3/4" = 1'-0" 3



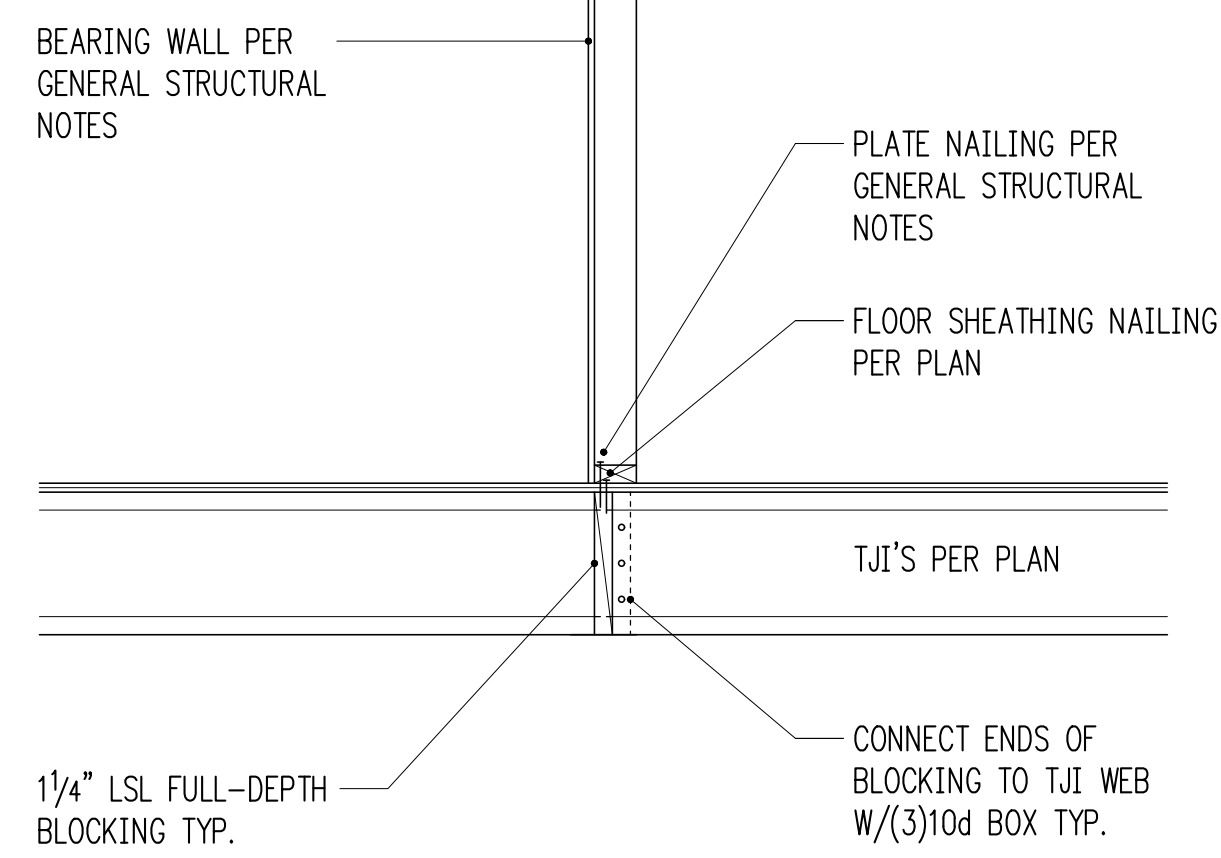
3/4" = 1'-0" 4



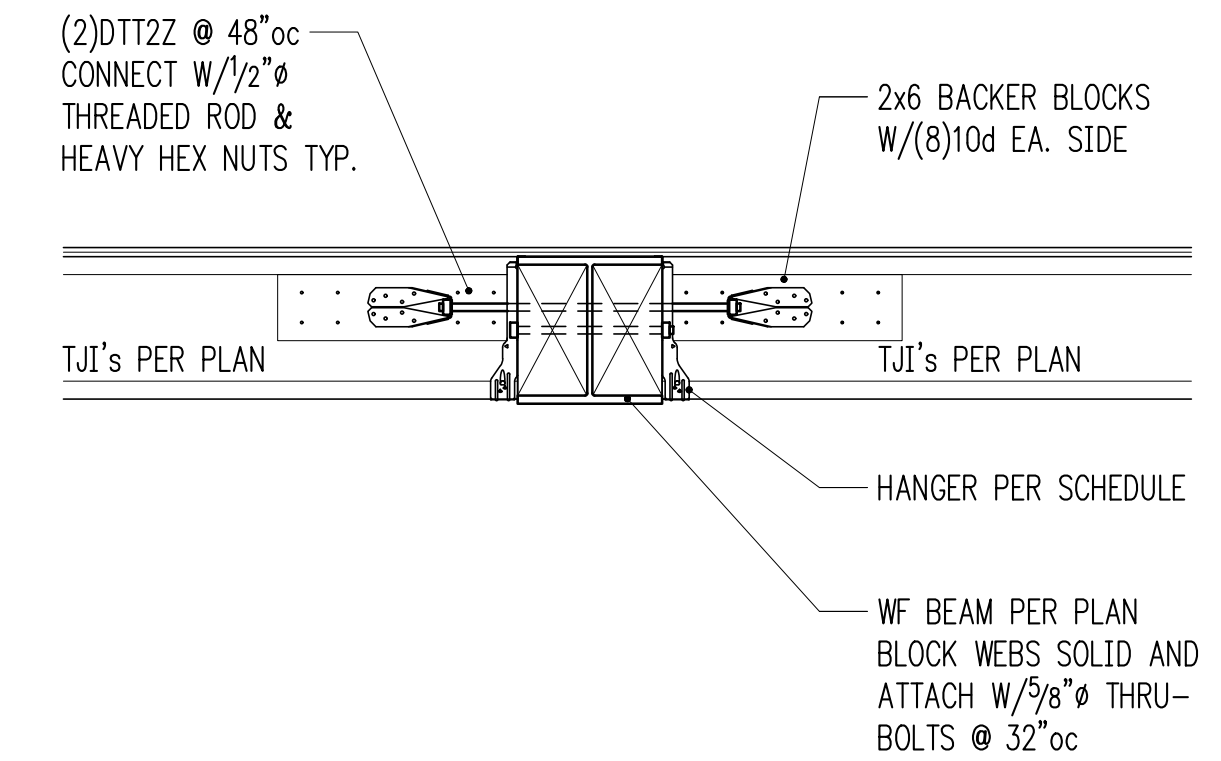
3/4" = 1'-0" 5



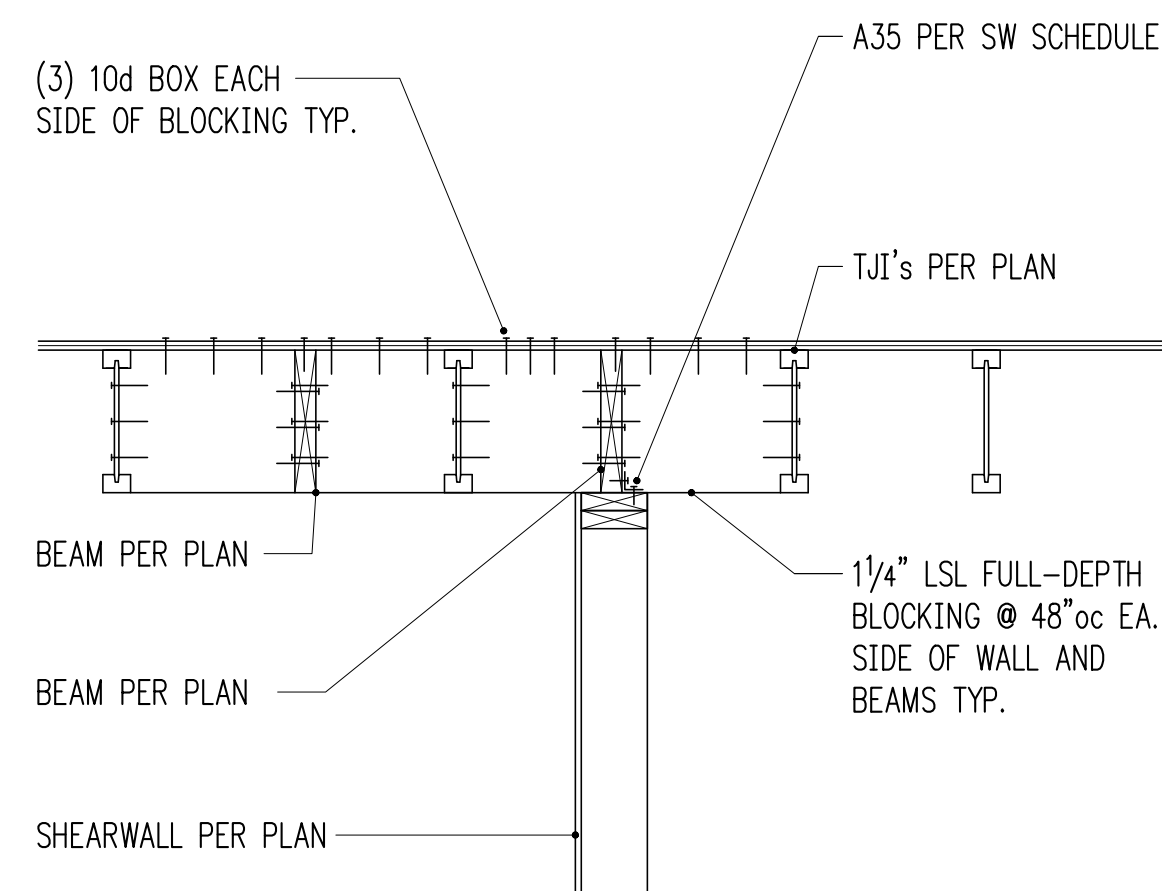
3/4" = 1'-0" 6



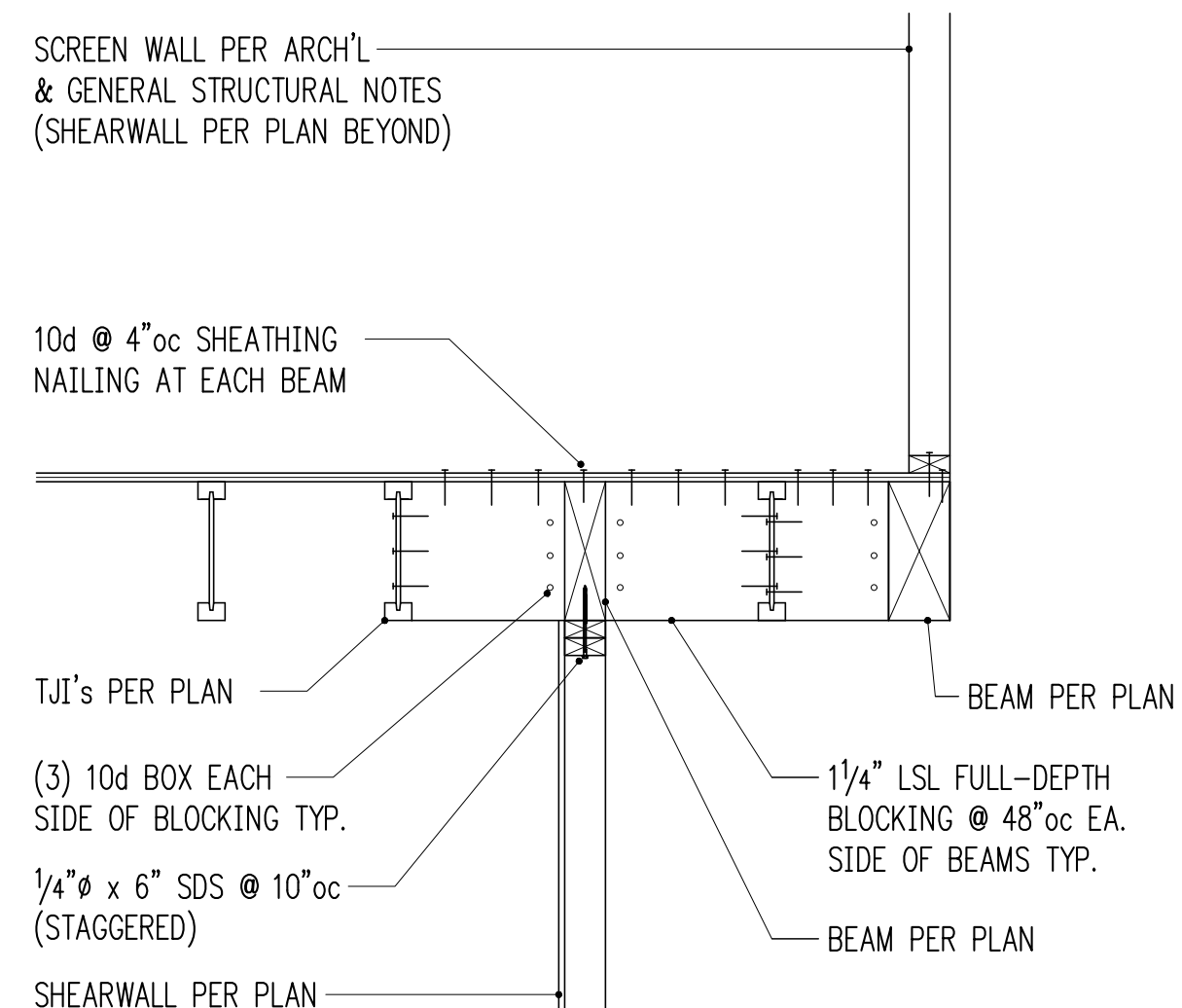
3/4" = 1'-0" 7



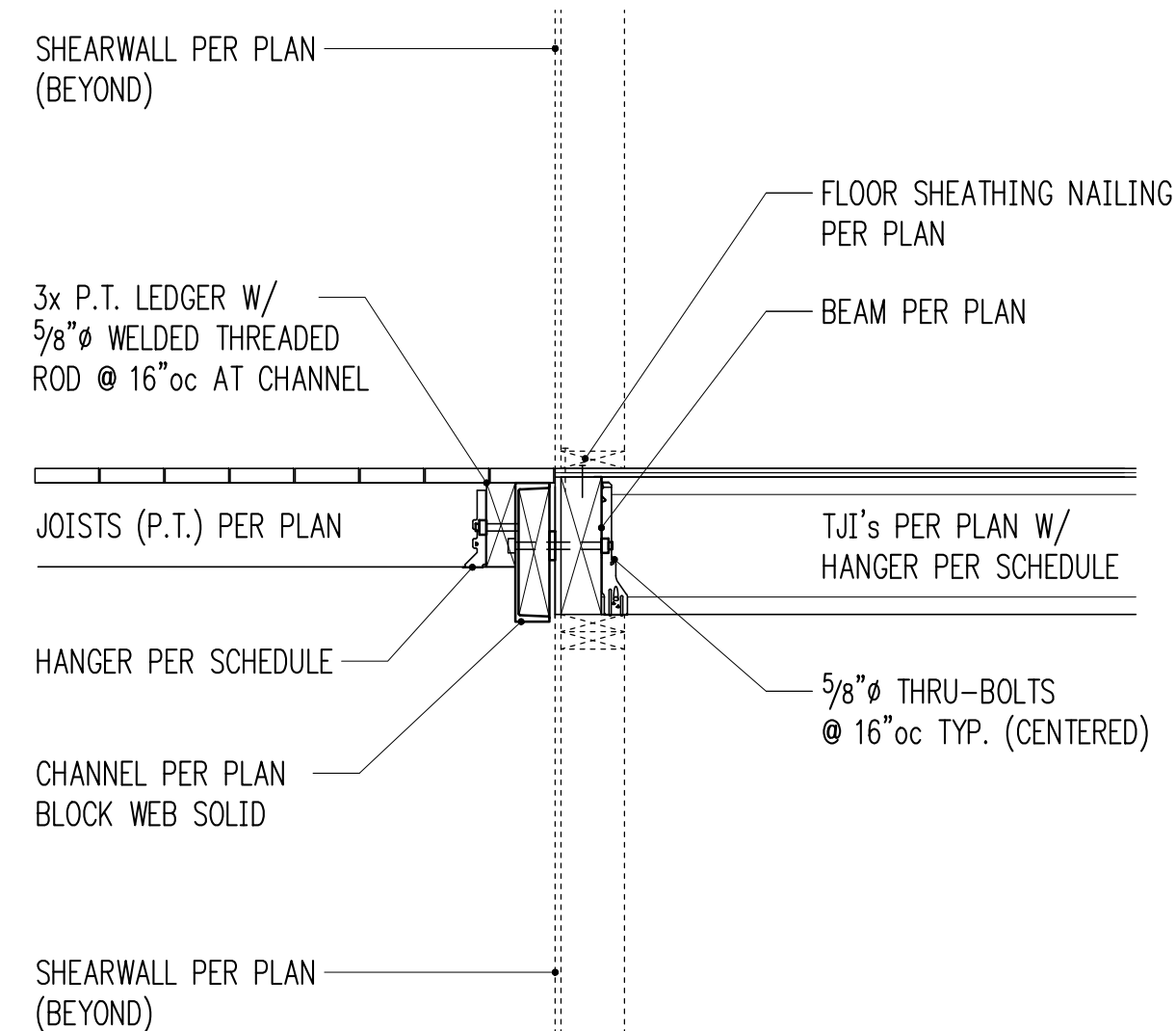
3/4" = 1'-0" 8



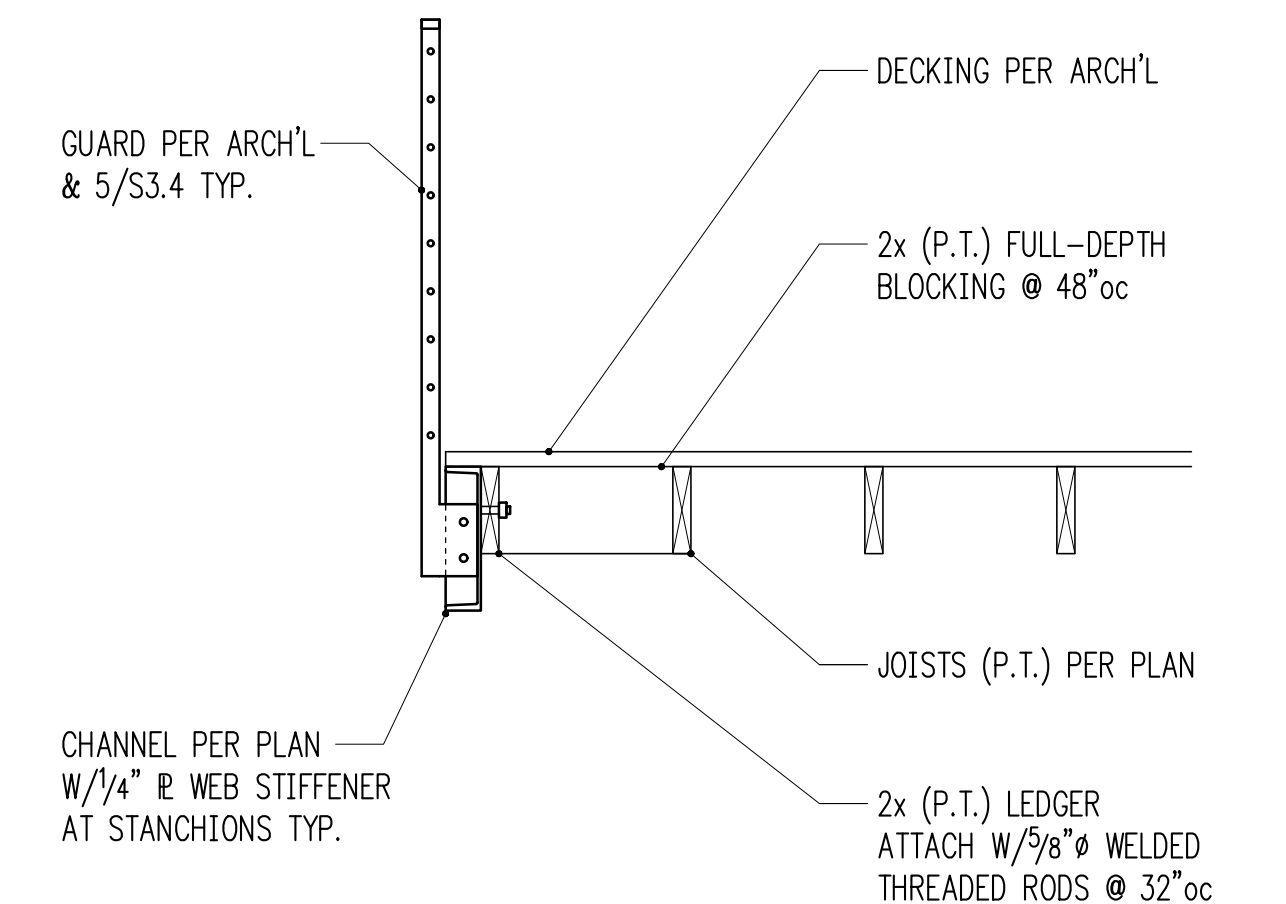
3/4" = 1'-0" 9



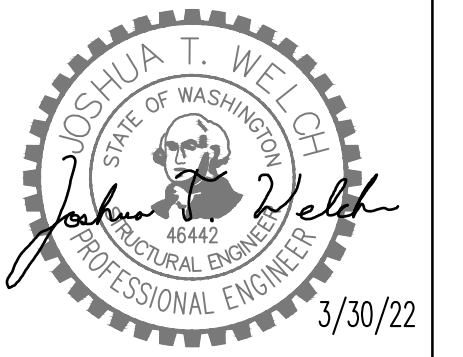
3/4" = 1'-0" 10



3/4" = 1'-0" 11



3/4" = 1'-0" 12



MERCER GROVE

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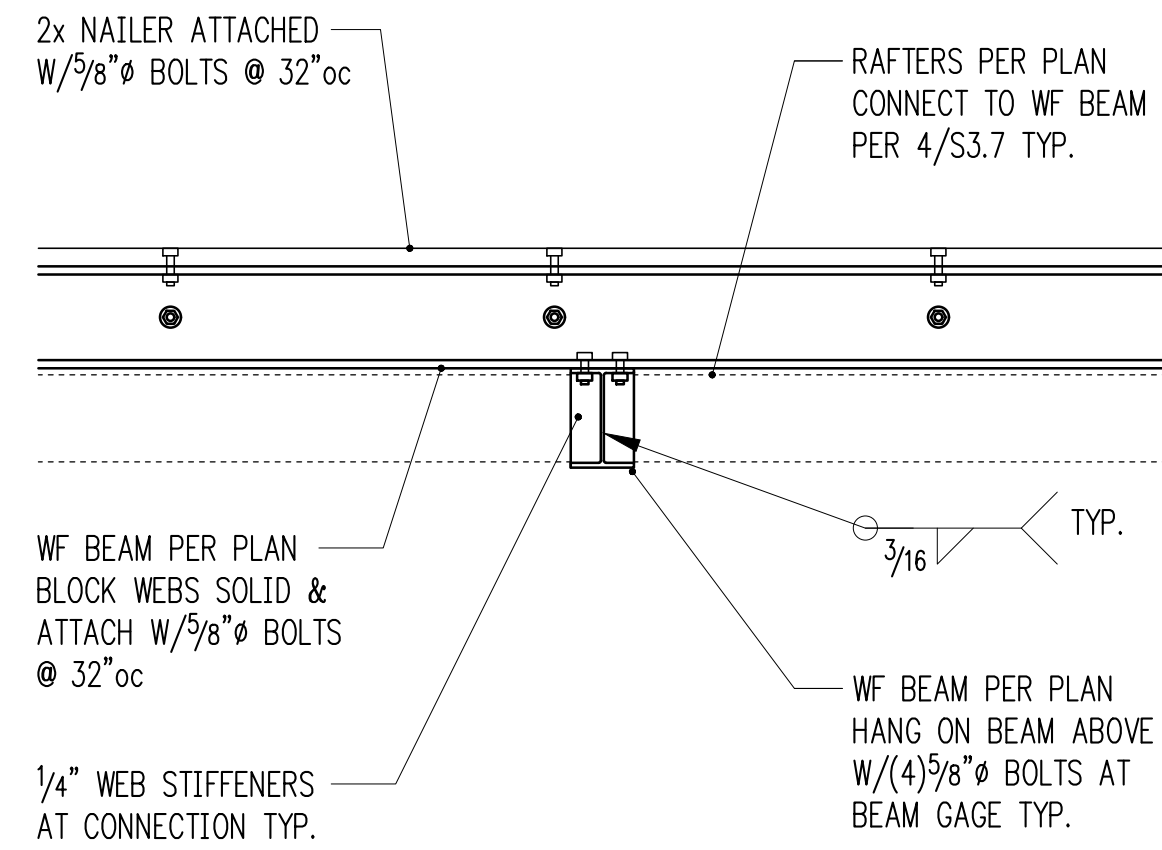
1.	10/13/21	PERMIT
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3.		
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3/30/22

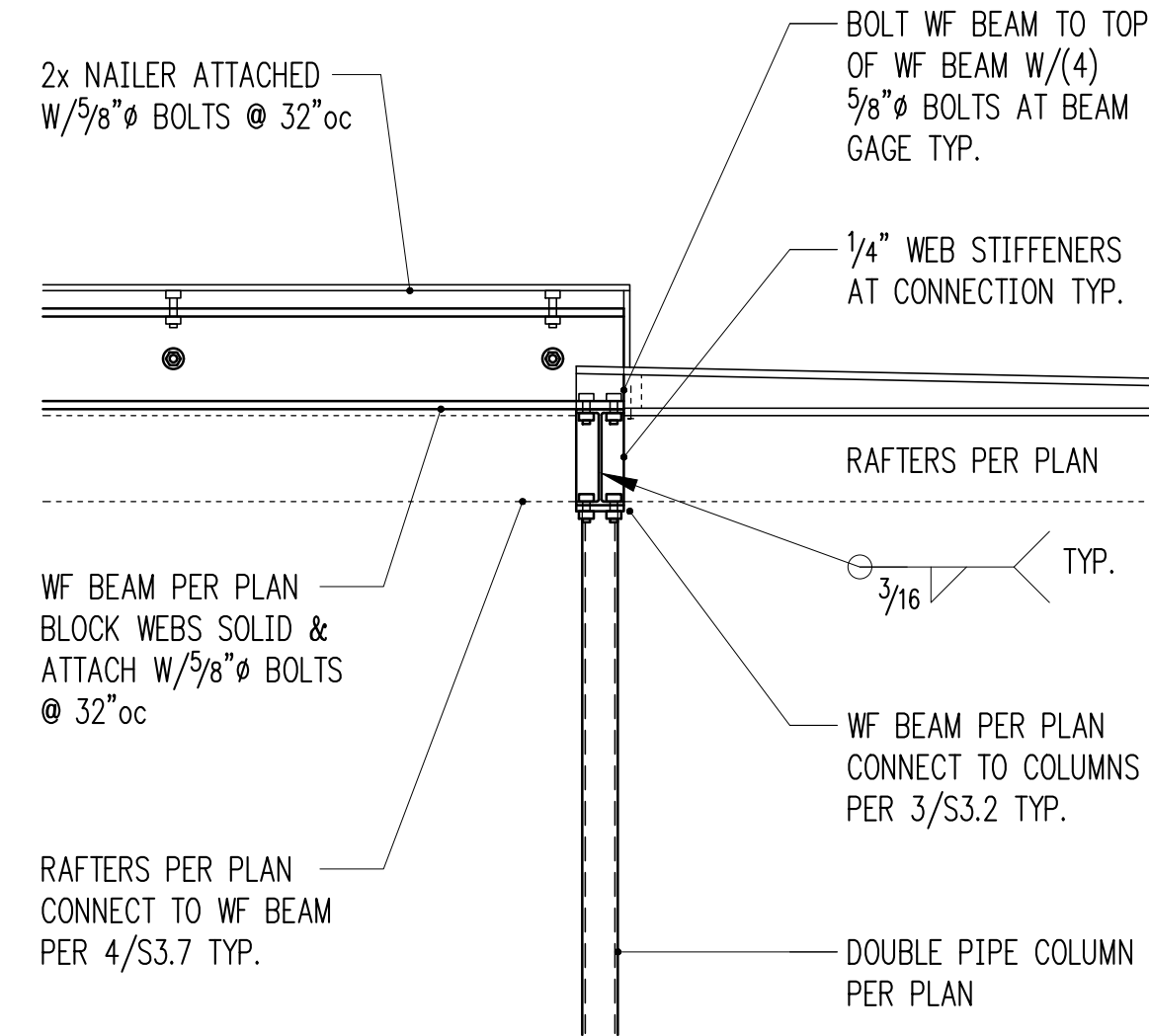
Drawing Title
STRUCTURAL DETAILS

Drawing Number

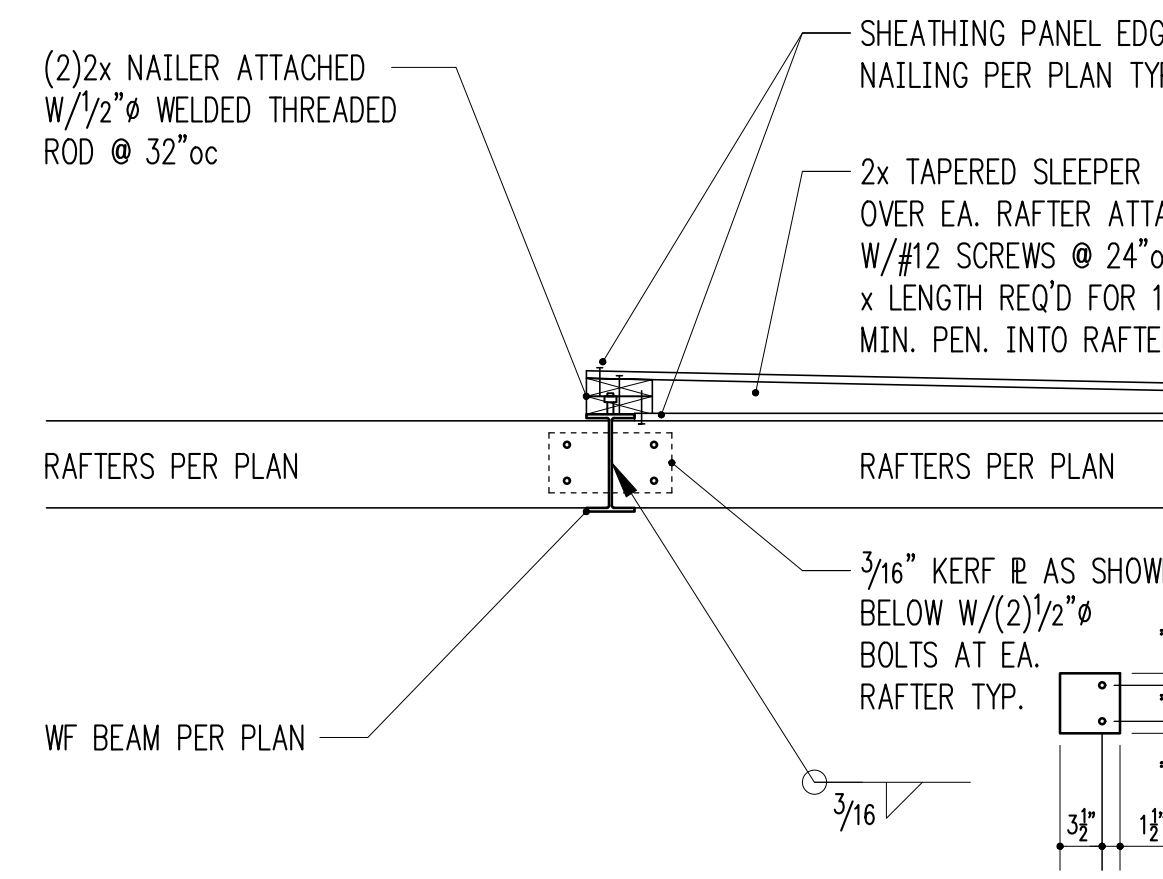
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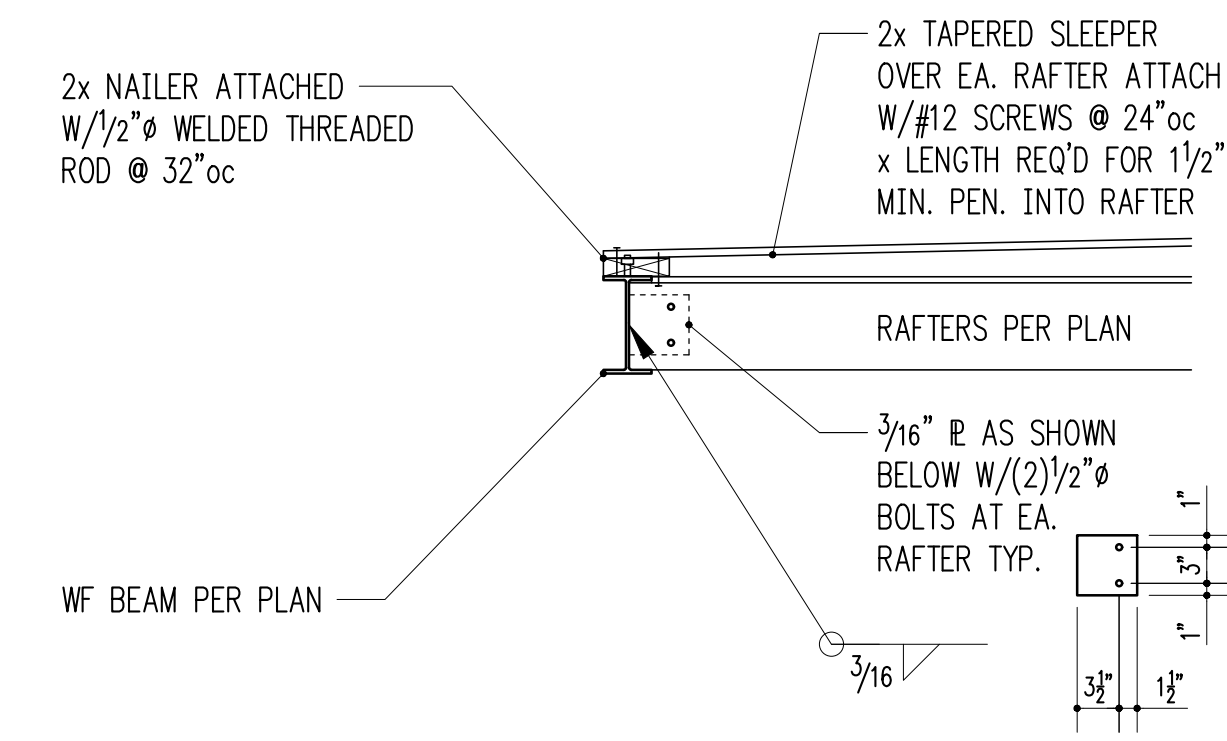
3/4" = 1'-0" 1



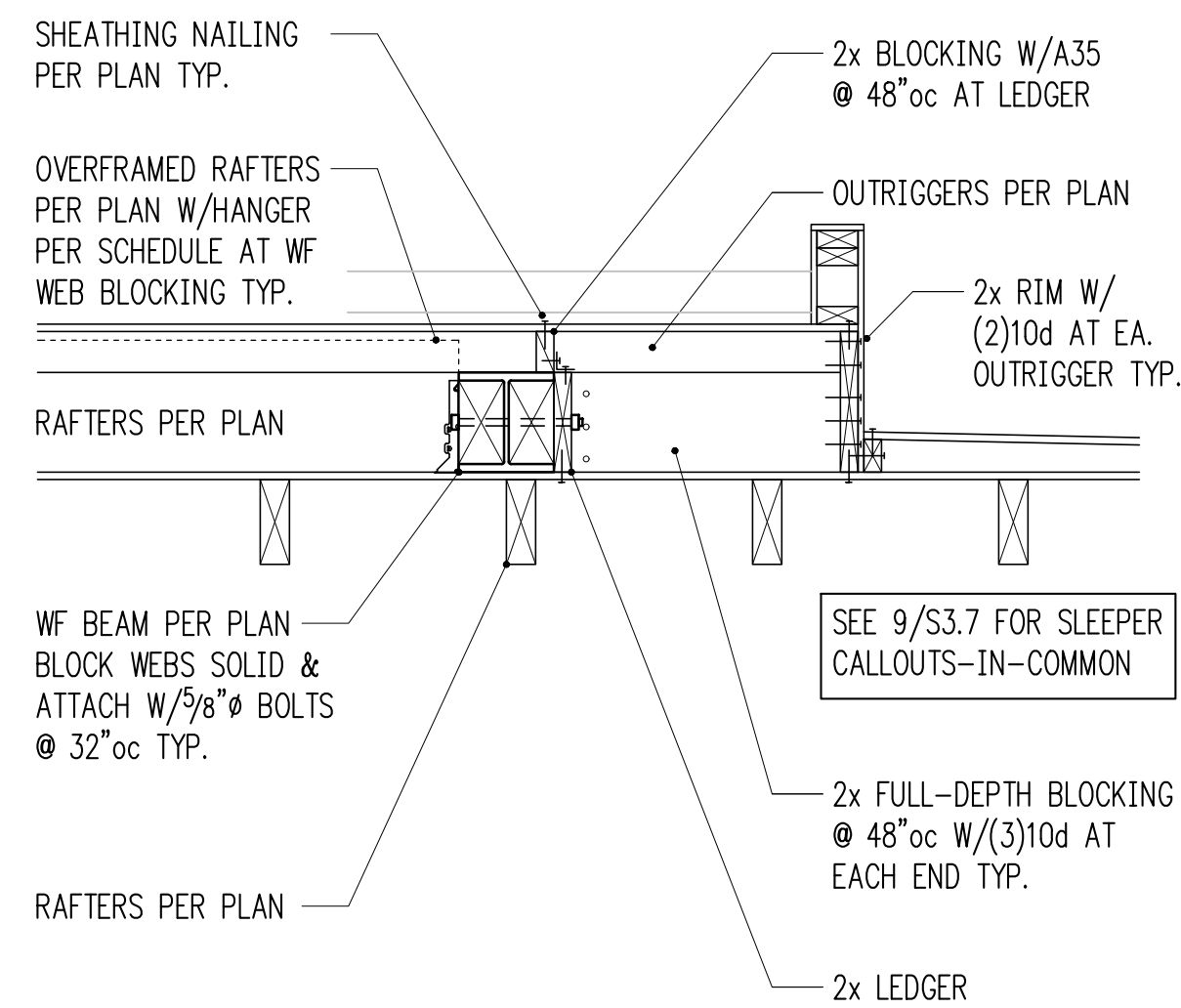
3/4" = 1'-0" 2



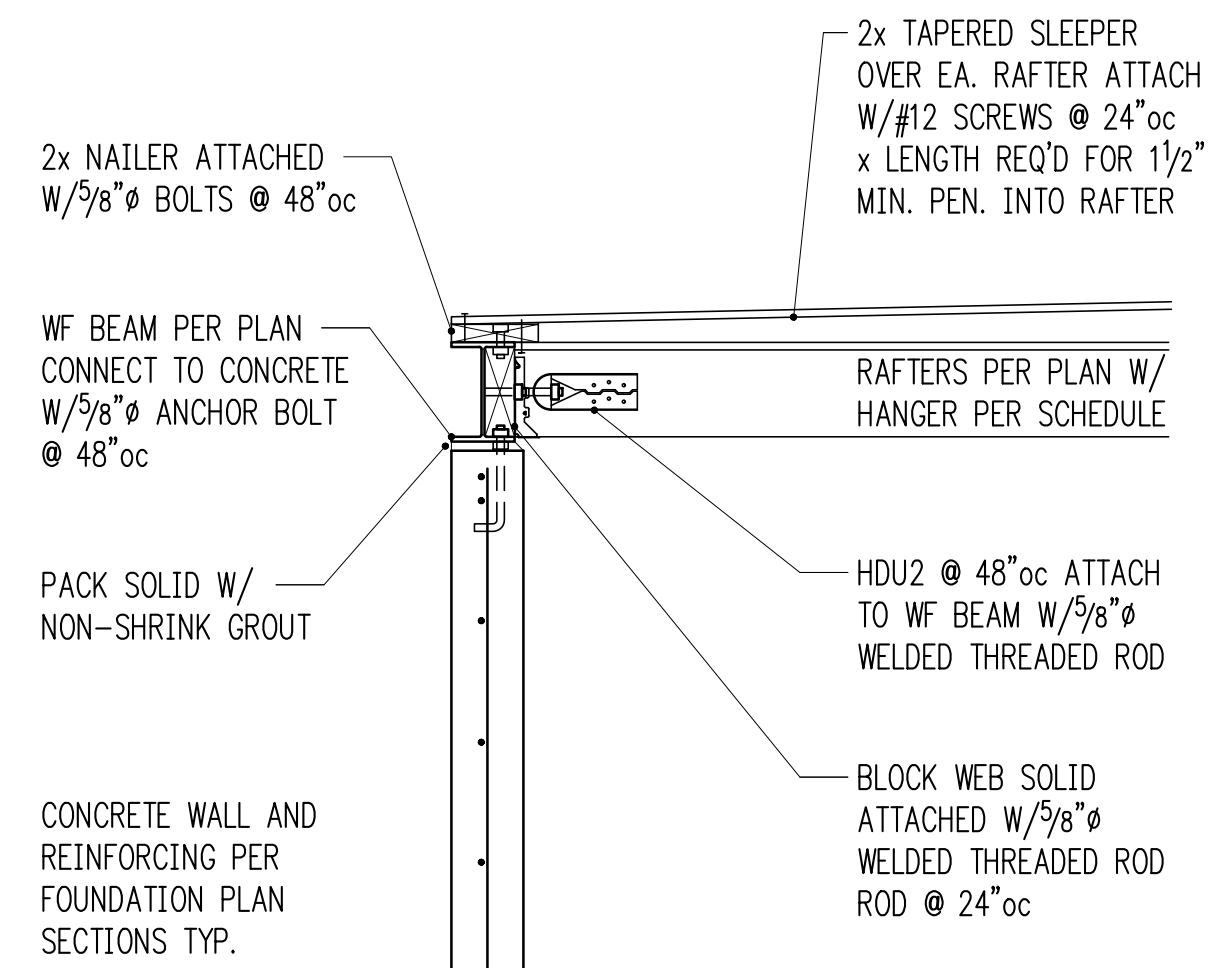
3/4" = 1'-0" 3



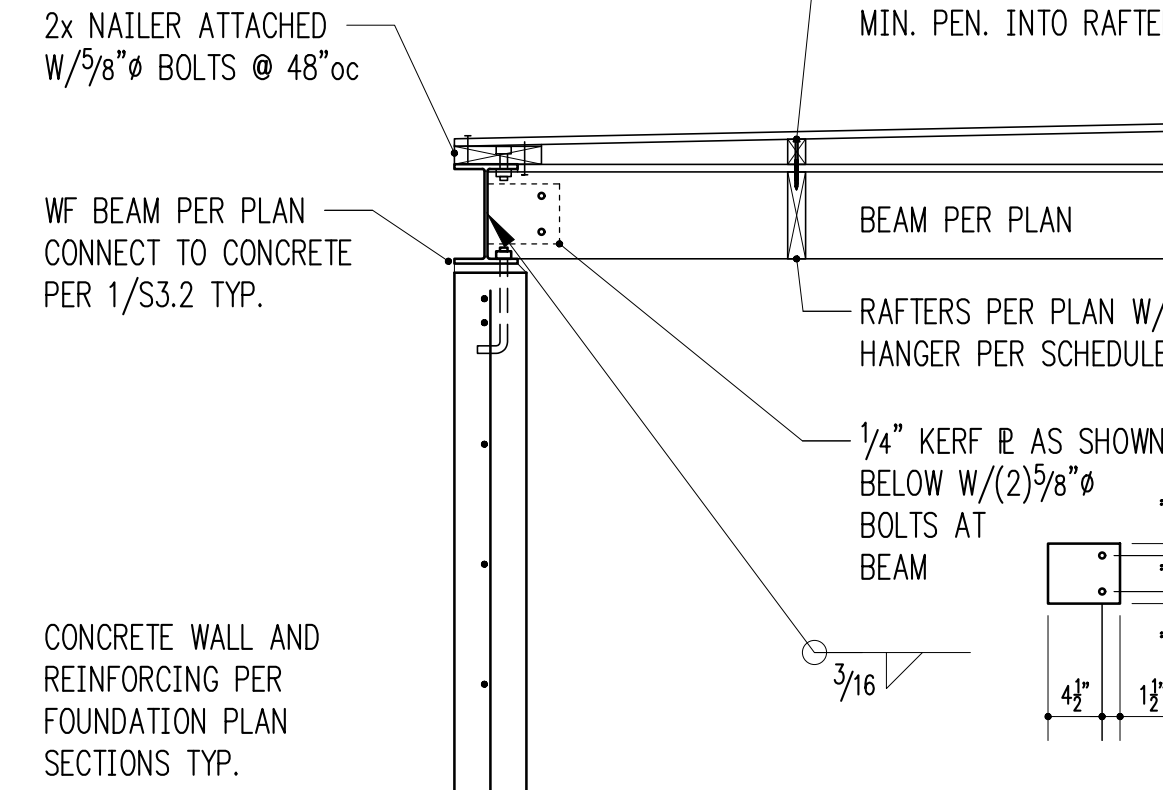
3/4" = 1'-0" 4



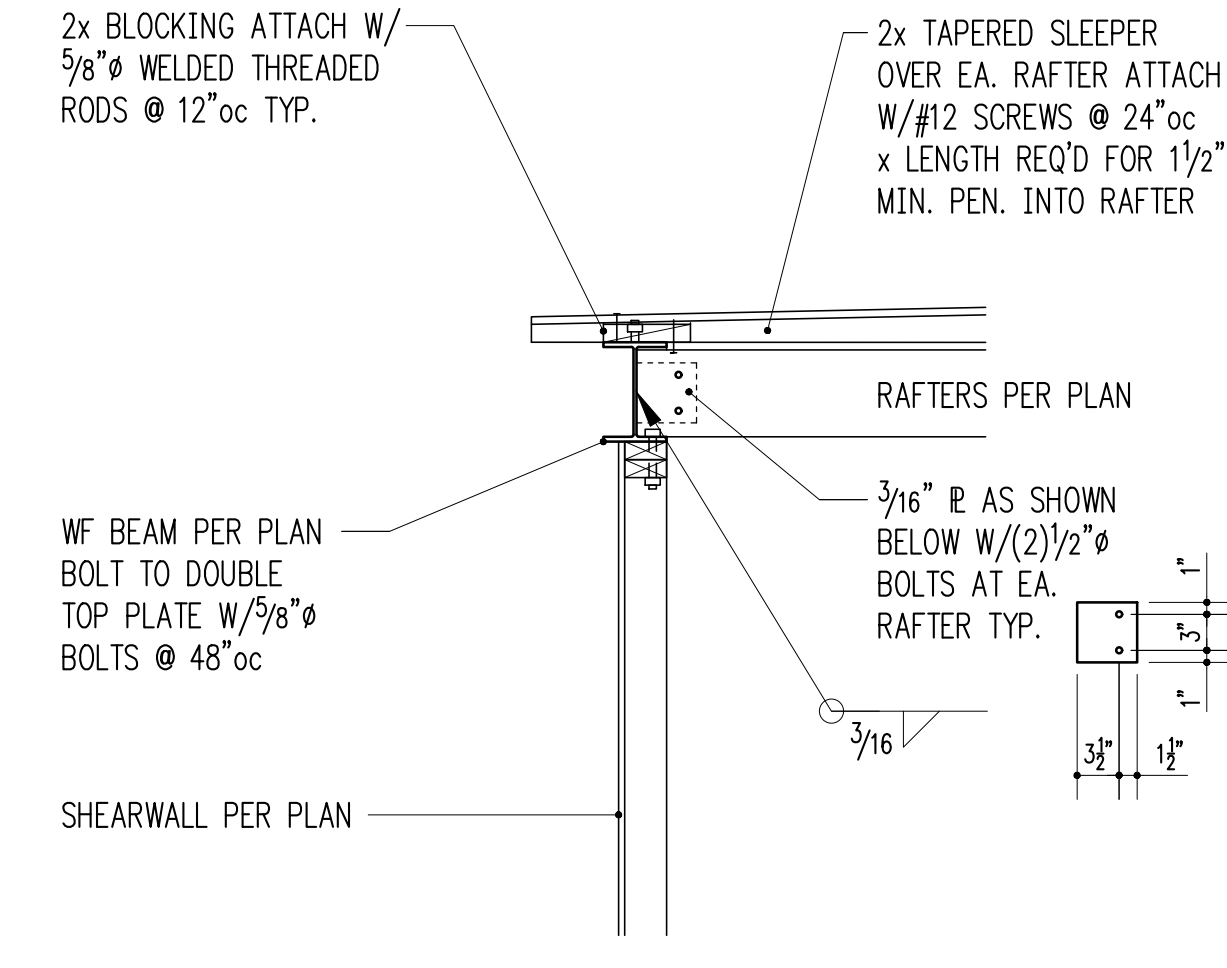
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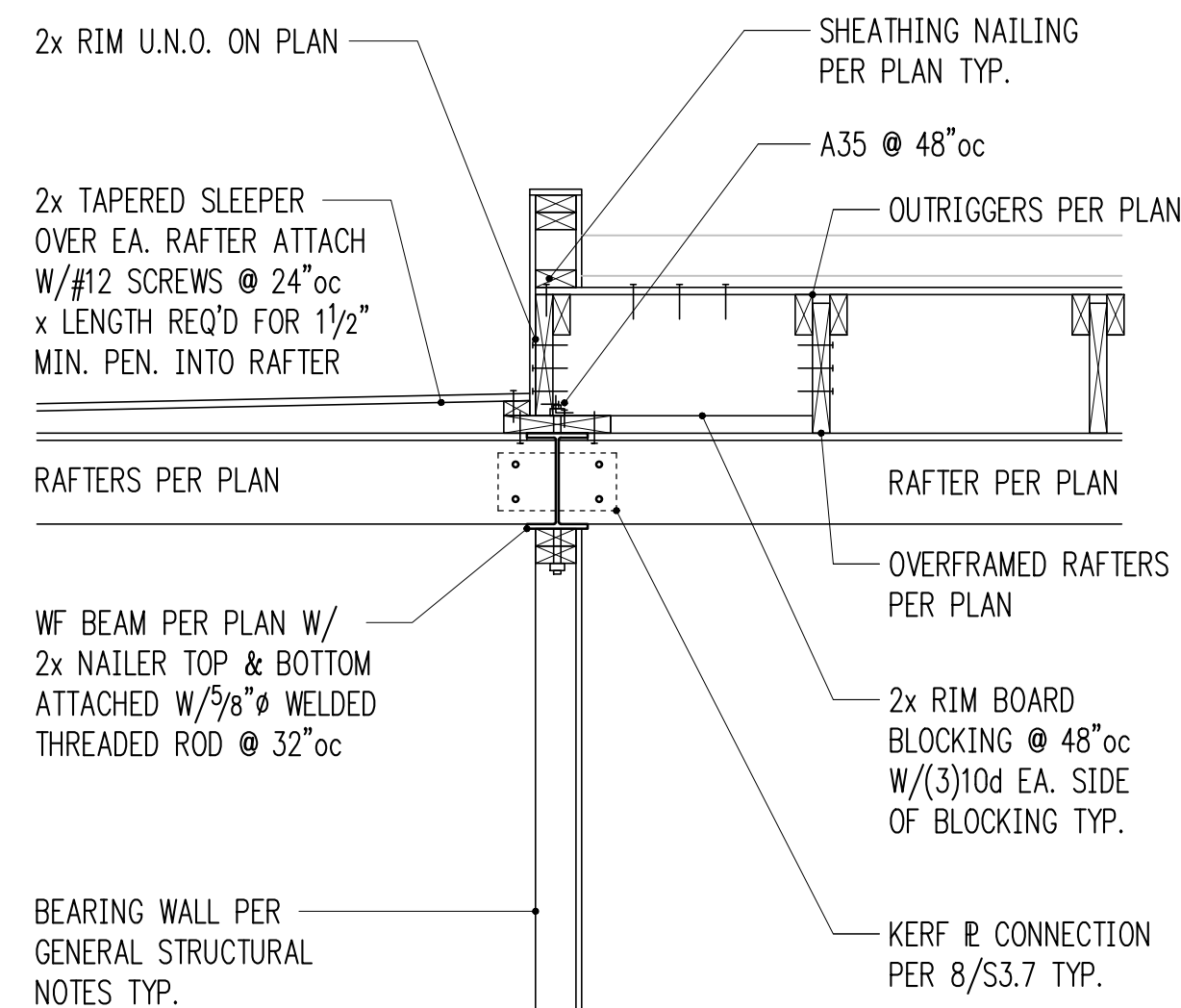
3/4" = 1'-0" 6



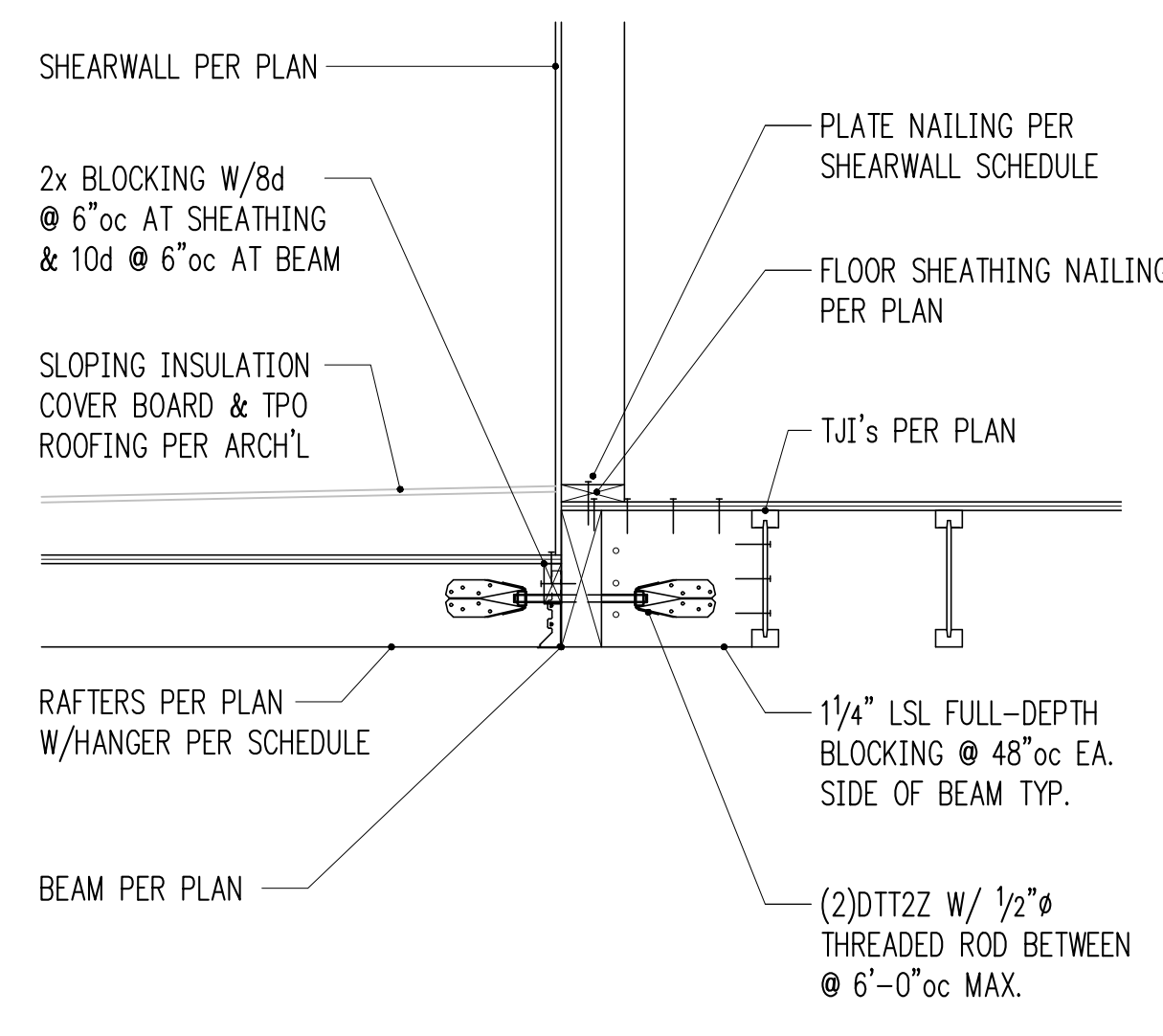
3/4" = 1'-0" 7



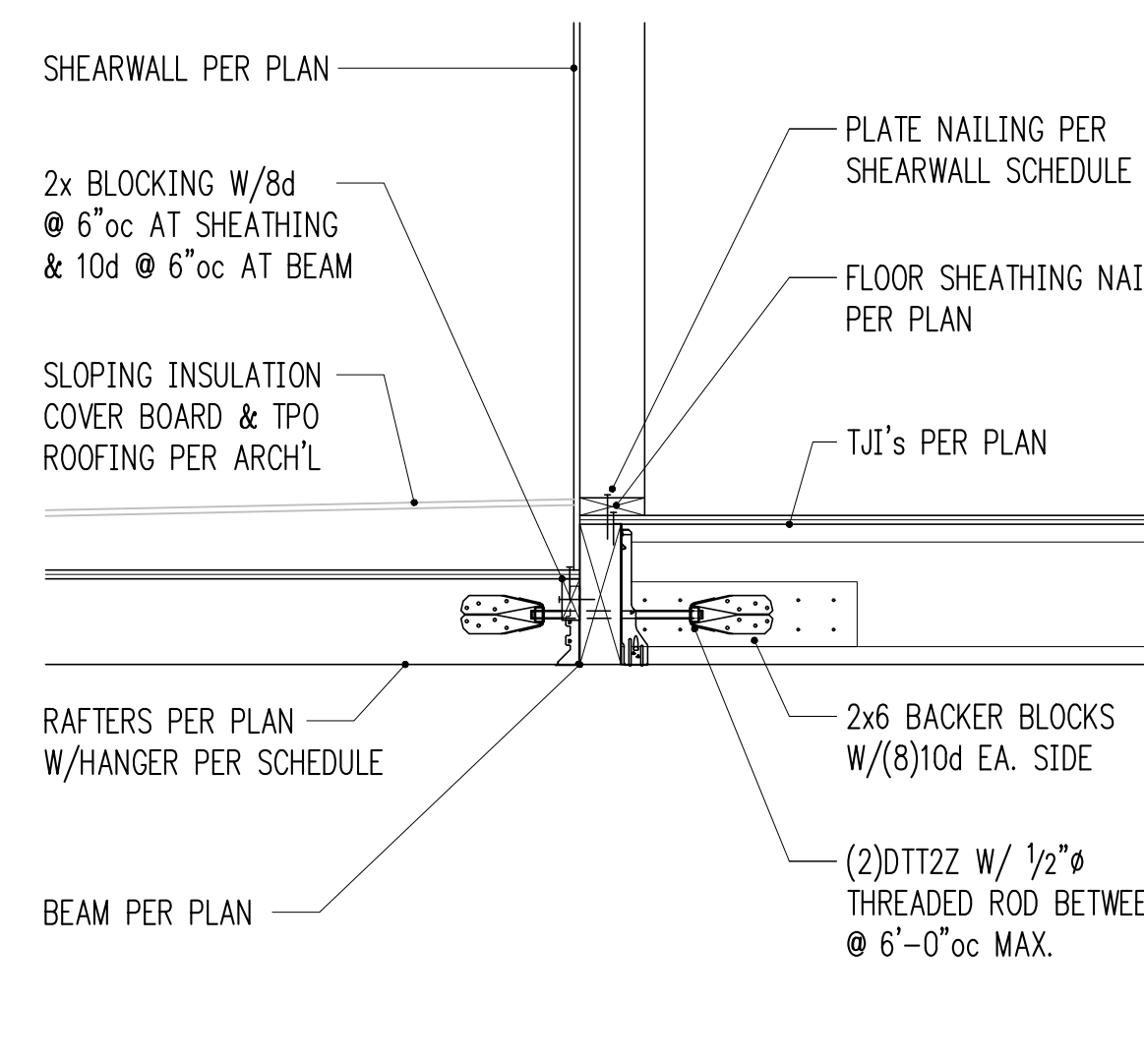
3/4" = 1'-0" 8



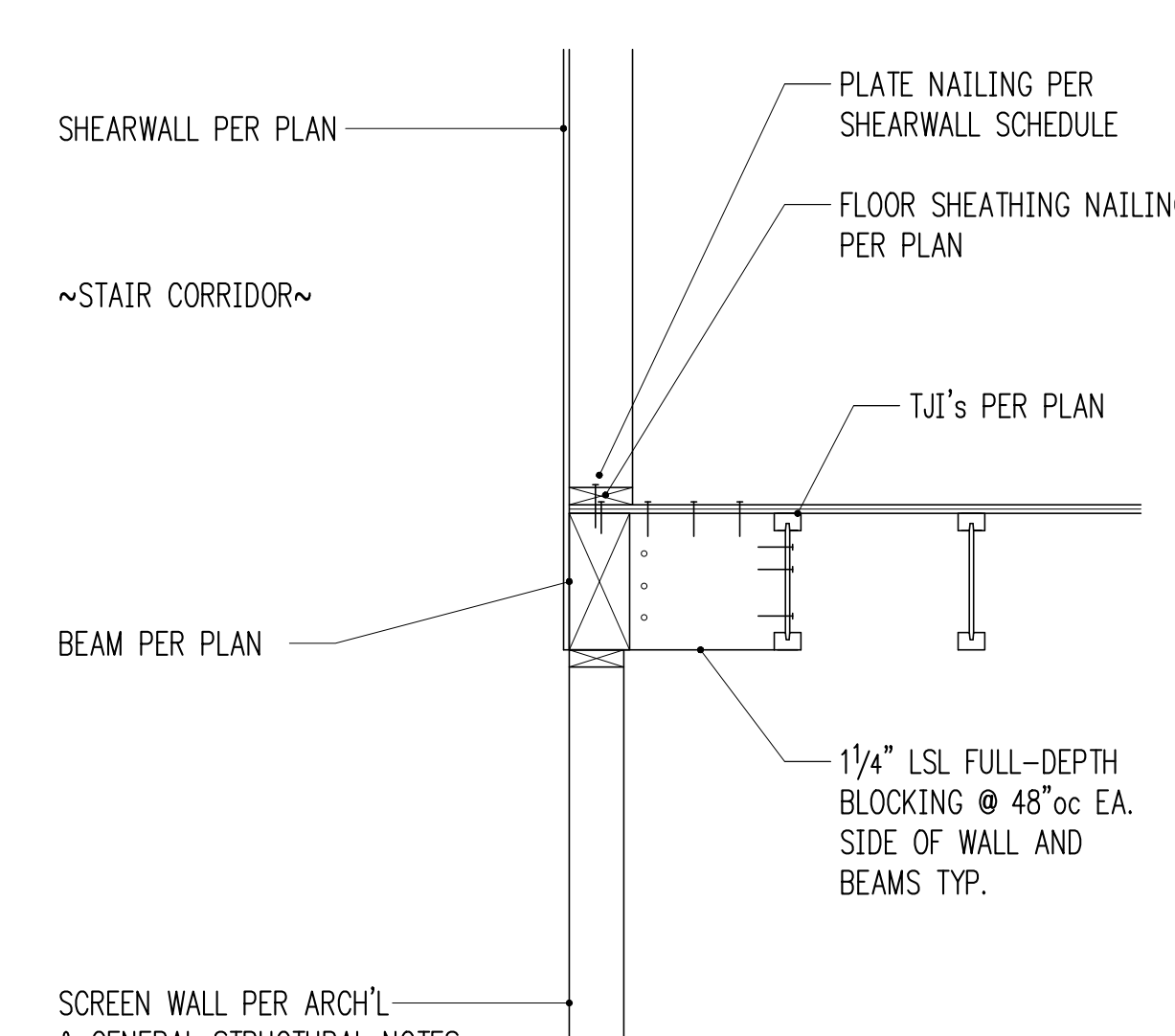
3/4" = 1'-0" 9



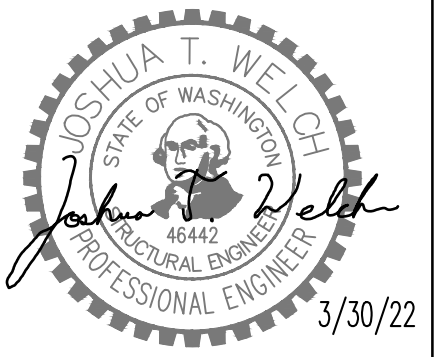
3/4" = 1'-0" 10



3/4" = 1'-0" 11



3/4" = 1'-0" 12



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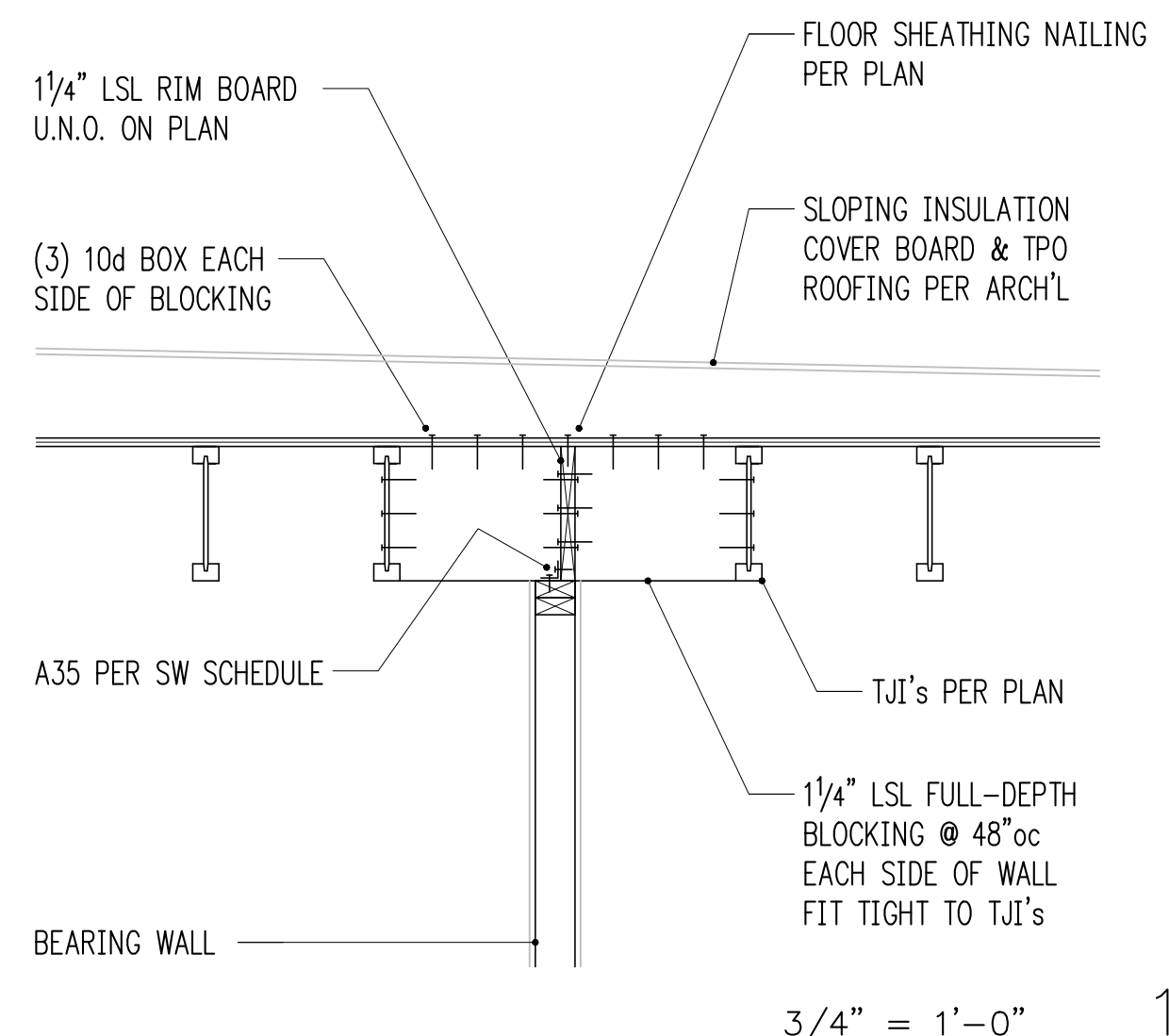
Issue	Date	Description
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2.	3/30/22	CORRECTIONS
3.		
4.		
5.		

Print Date
3/30/22

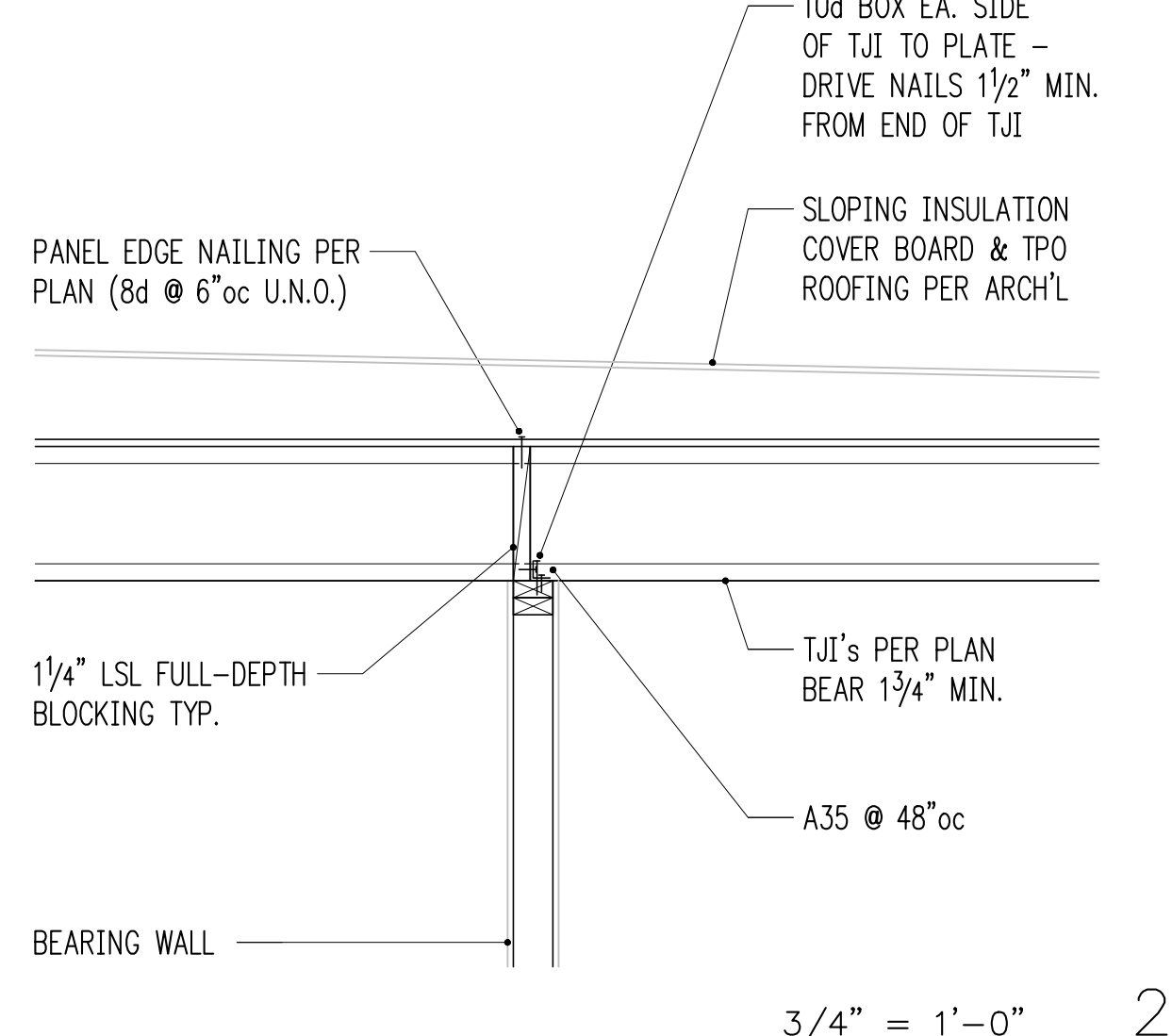
Drawing Title
STRUCTURAL DETAILS

Drawing Number

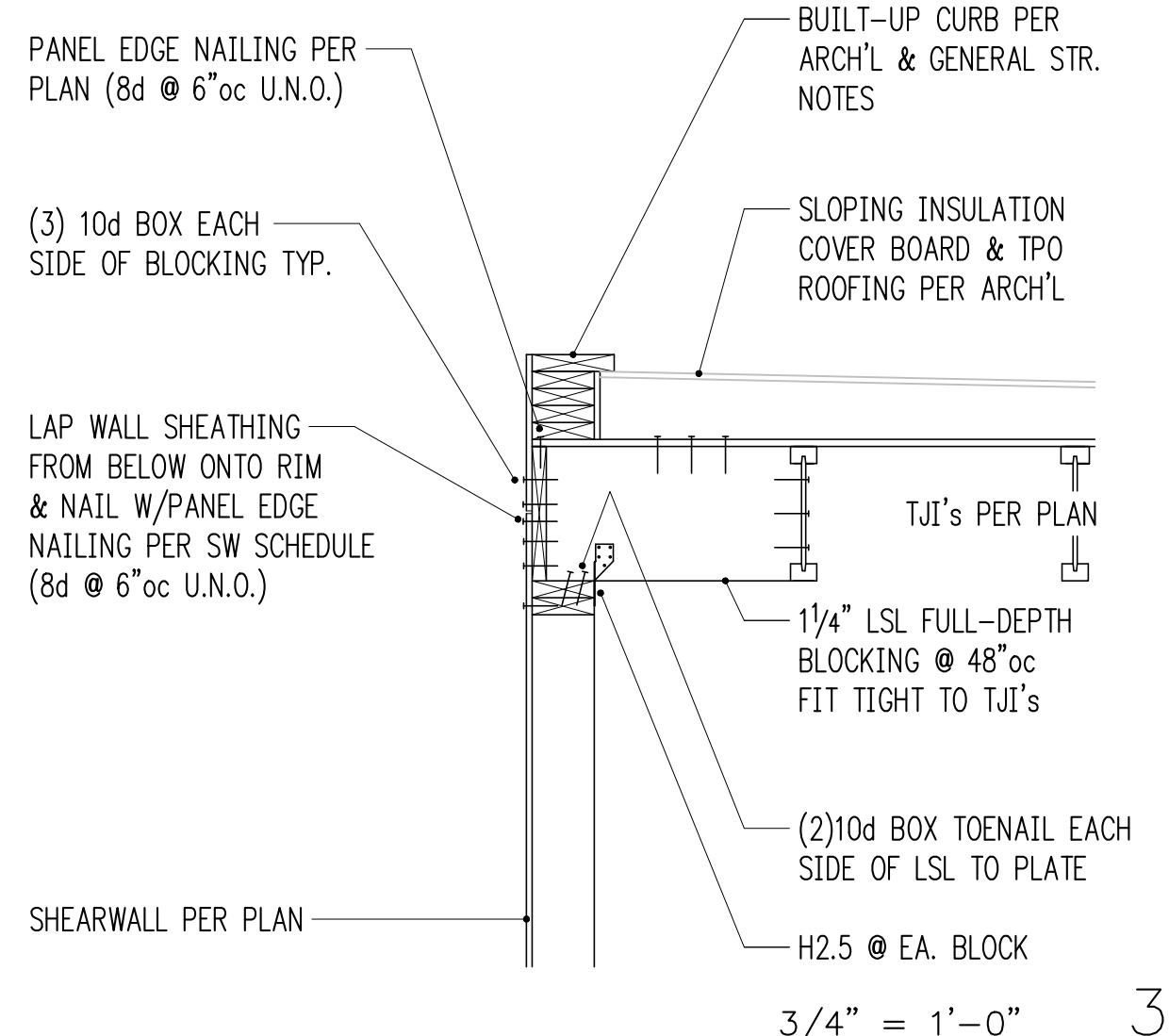
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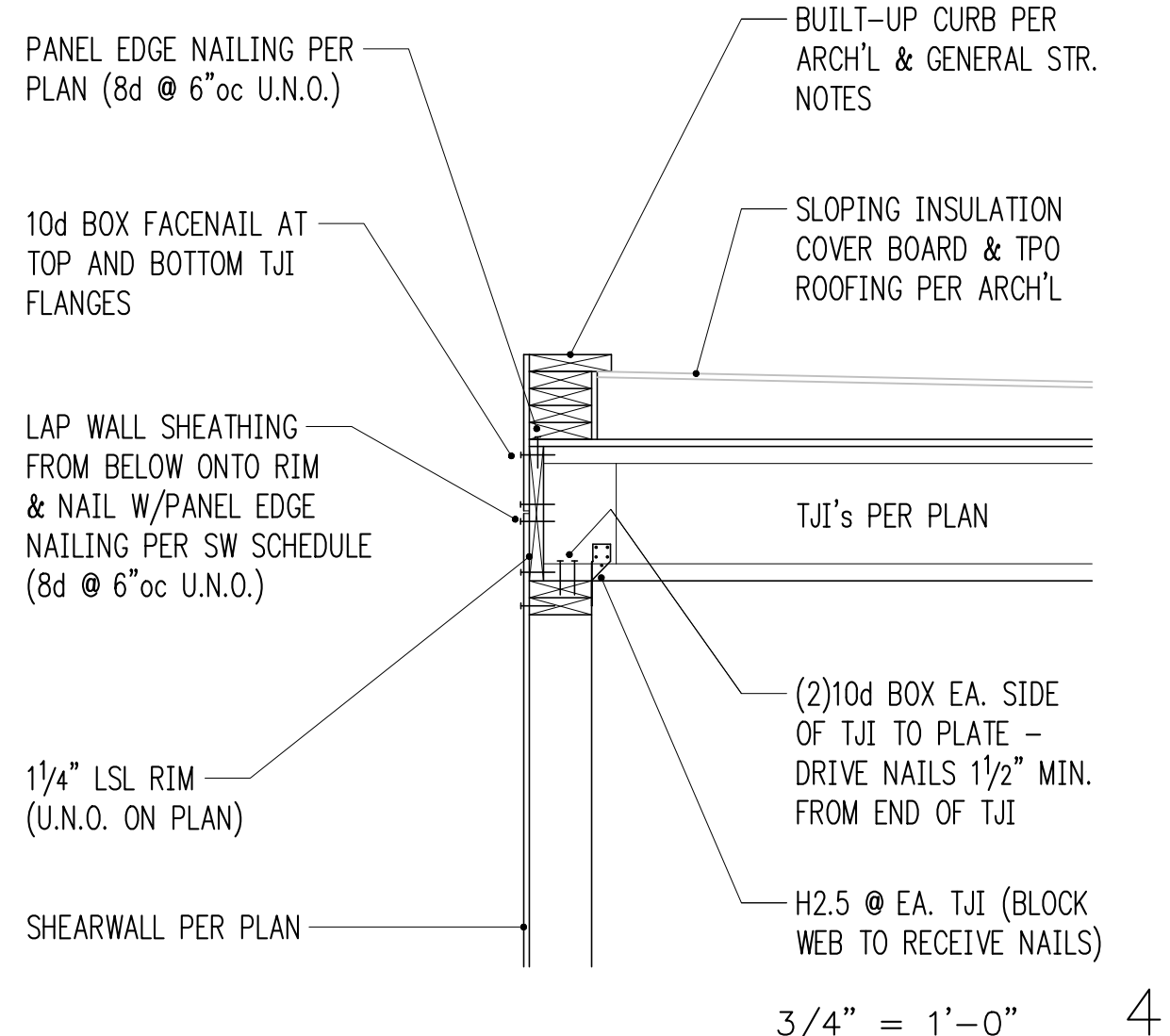
3/4" = 1'-0" 1



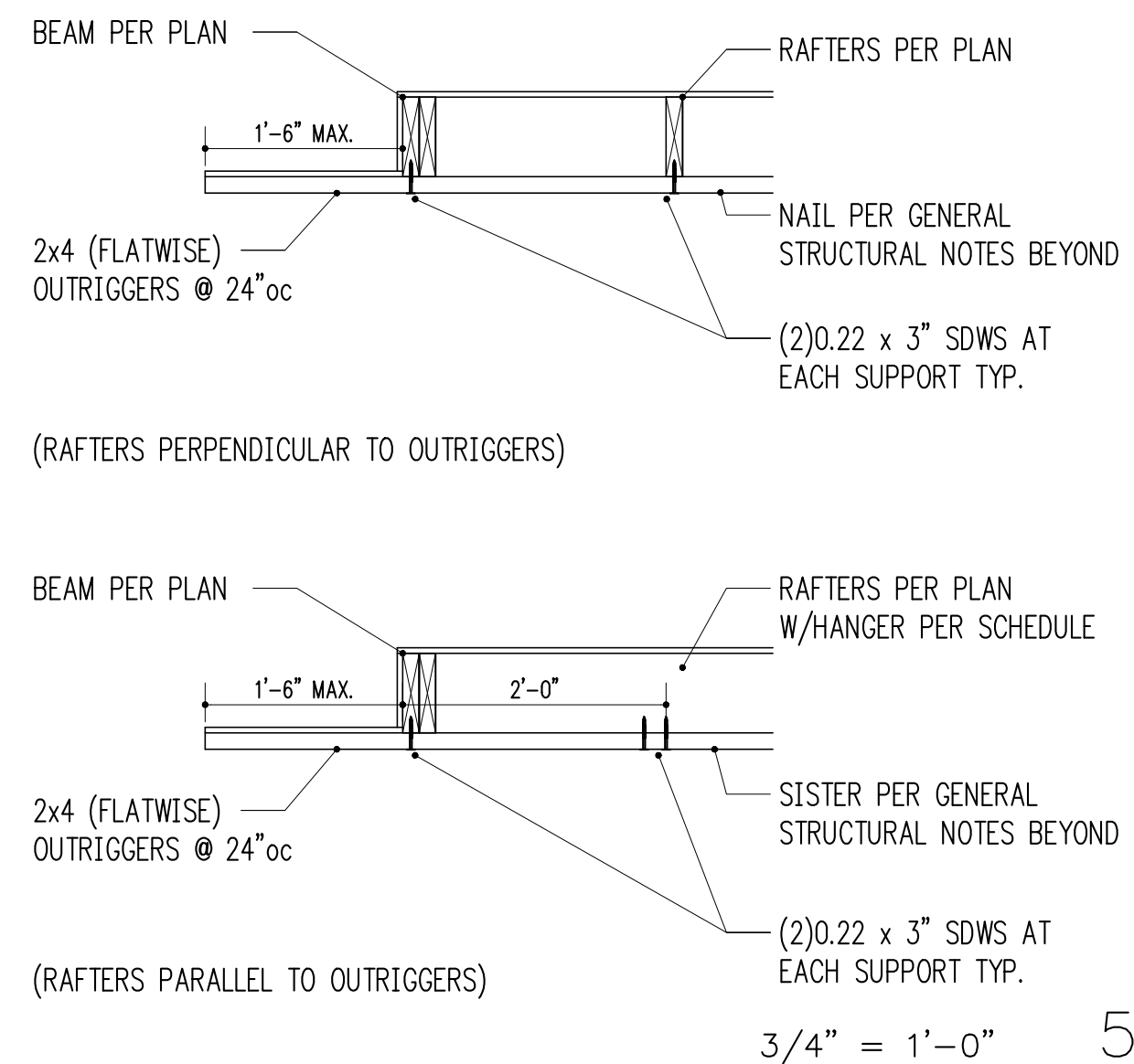
3/4" = 1'-0" 2



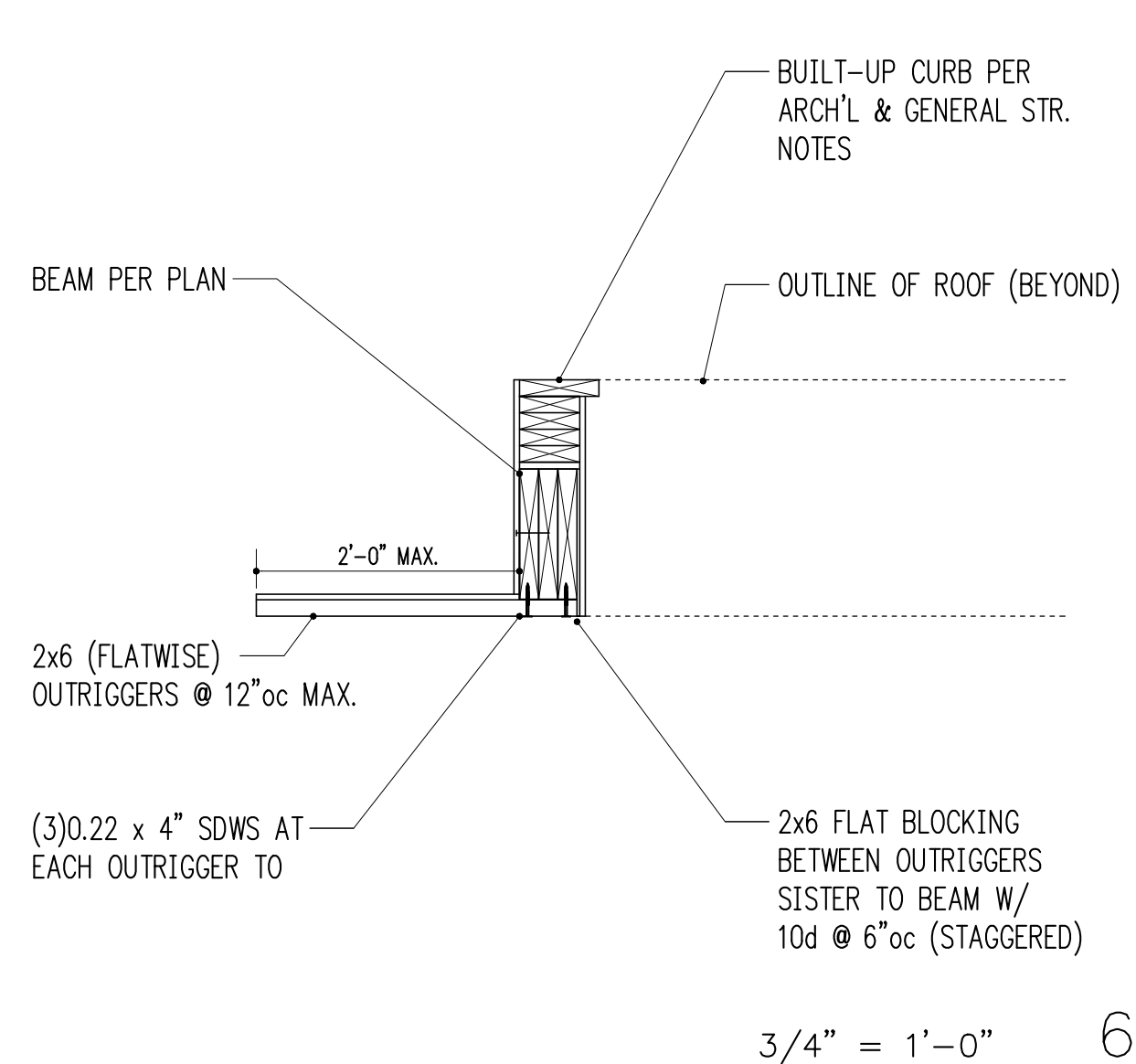
3/4" = 1'-0" 3



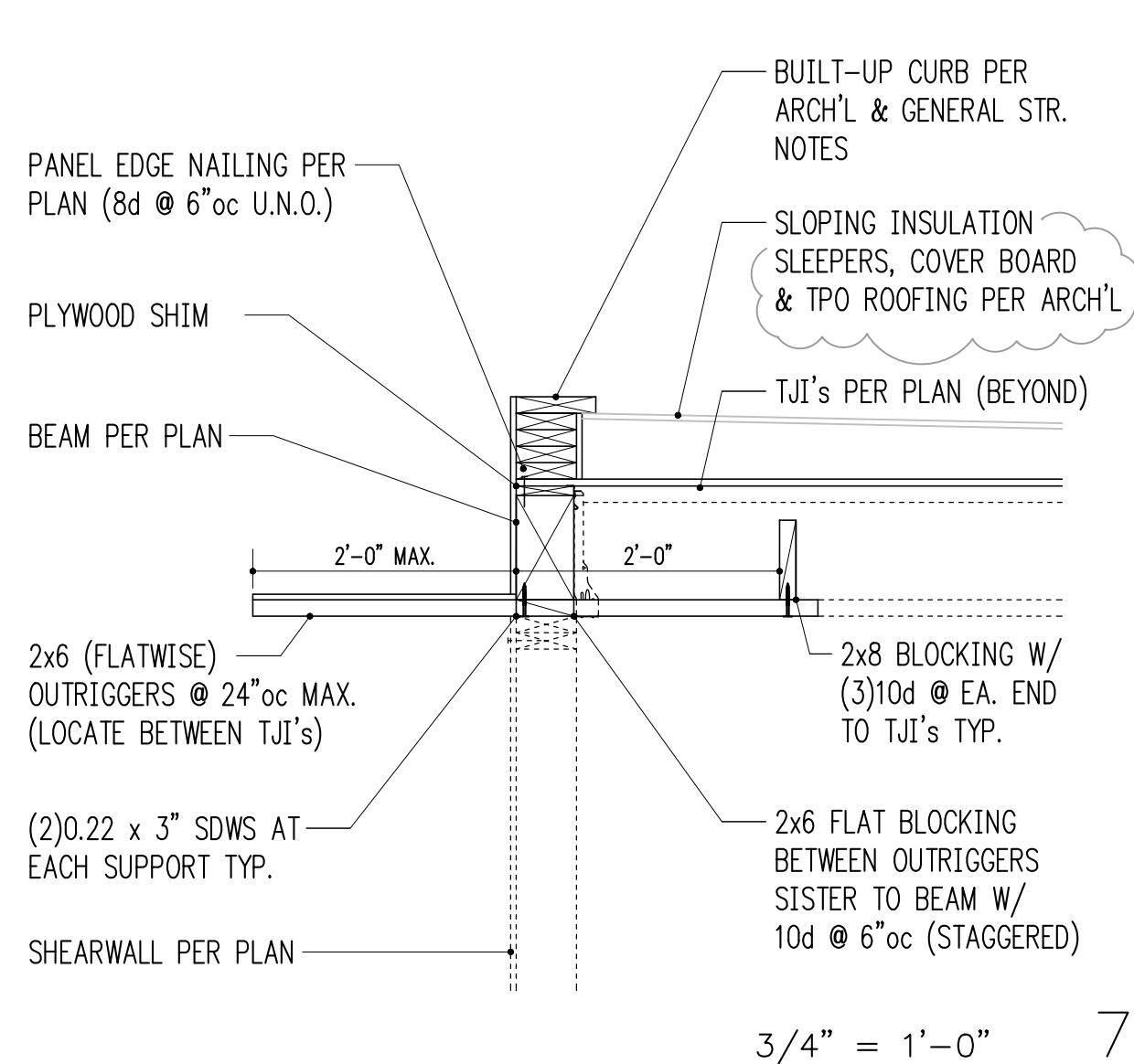
3/4" = 1'-0" 4



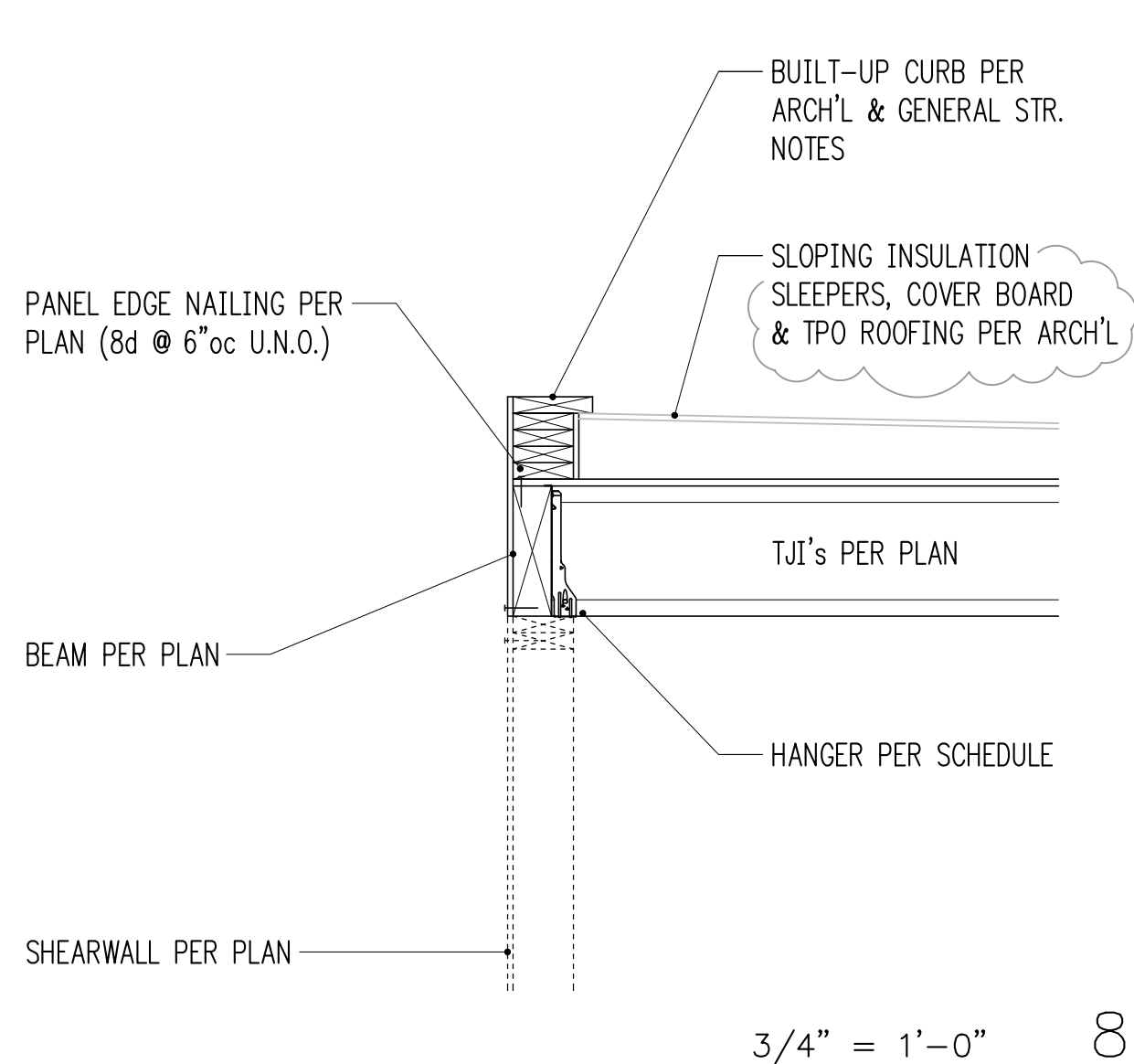
3/4" = 1'-0" 5



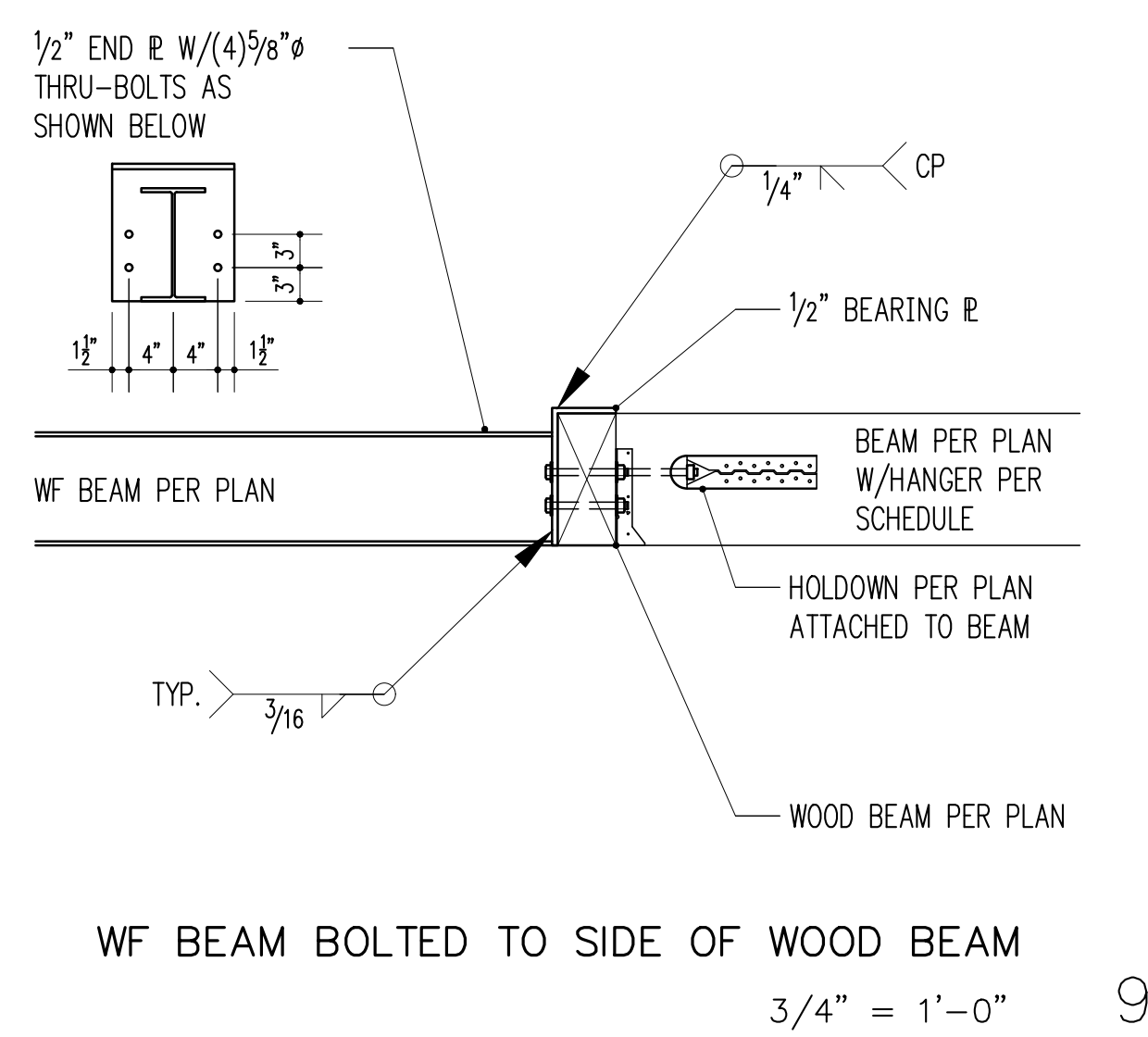
3/4" = 1'-0" 6



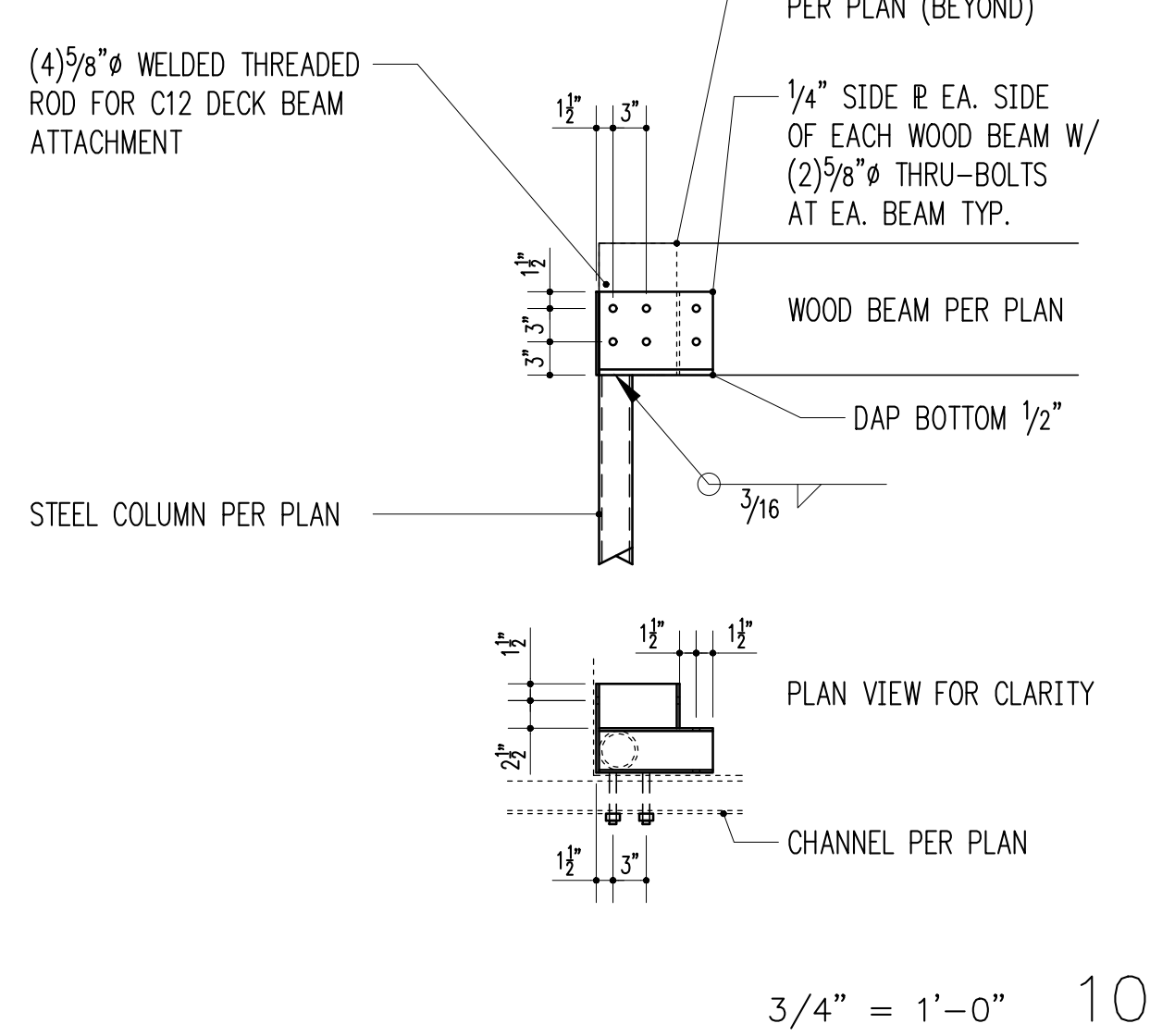
3/4" = 1'-0" 7



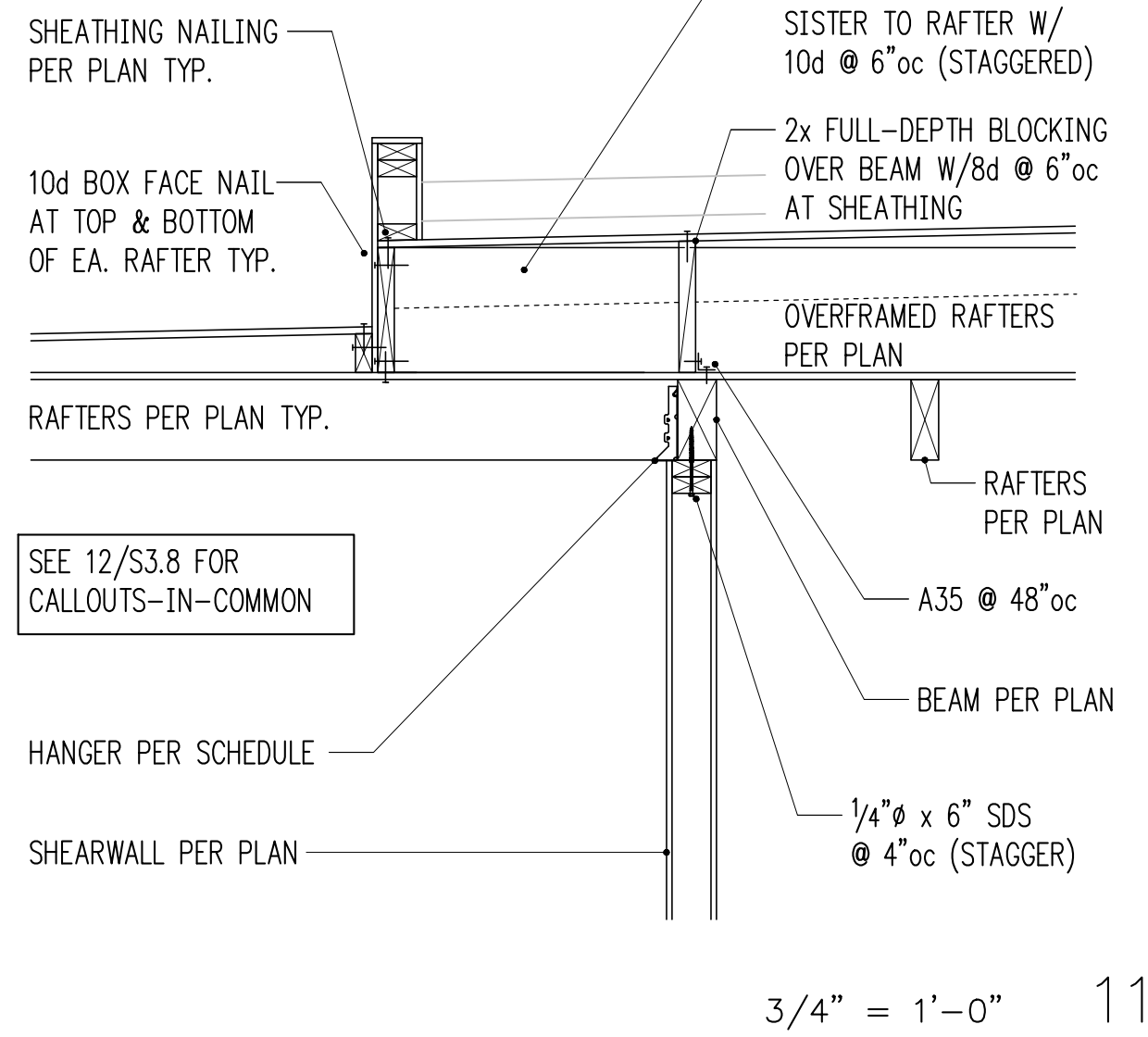
3/4" = 1'-0" 8



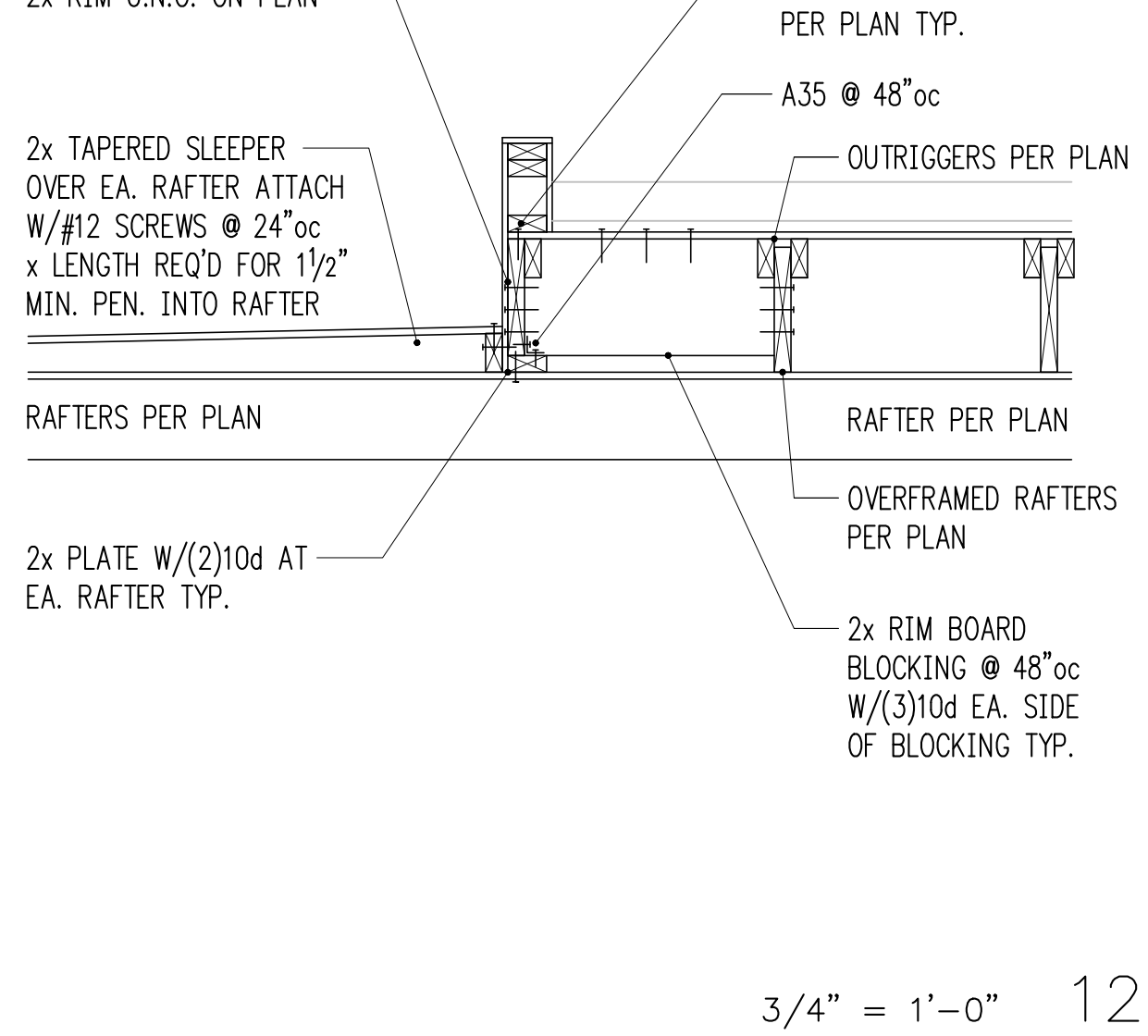
3/4" = 1'-0" 9



3/4" = 1'-0" 10



3/4" = 1'-0" 11



3/4" = 1'-0" 12

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MERCER GROVE
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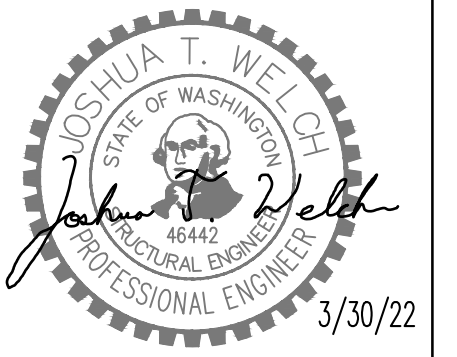
Architect
WITTMAN ESTES
5628 Airport Way S Ste 165
Seattle, WA 98106

Issue
1. 10/13/21 PERMIT
2. 3/30/22 CORRECTIONS
3.
4.
5.

Print Date
3/30/22

Drawing Title
STRUCTURAL DETAILS

Drawing Number
S3.8



3/4" = 1'-0" 1

3/4" = 1'-0" 2

3/4" = 1'-0" 3

3/4" = 1'-0" 4

3/4" = 1'-0" 5

3/4" = 1'-0" 6

3/4" = 1'-0" 7

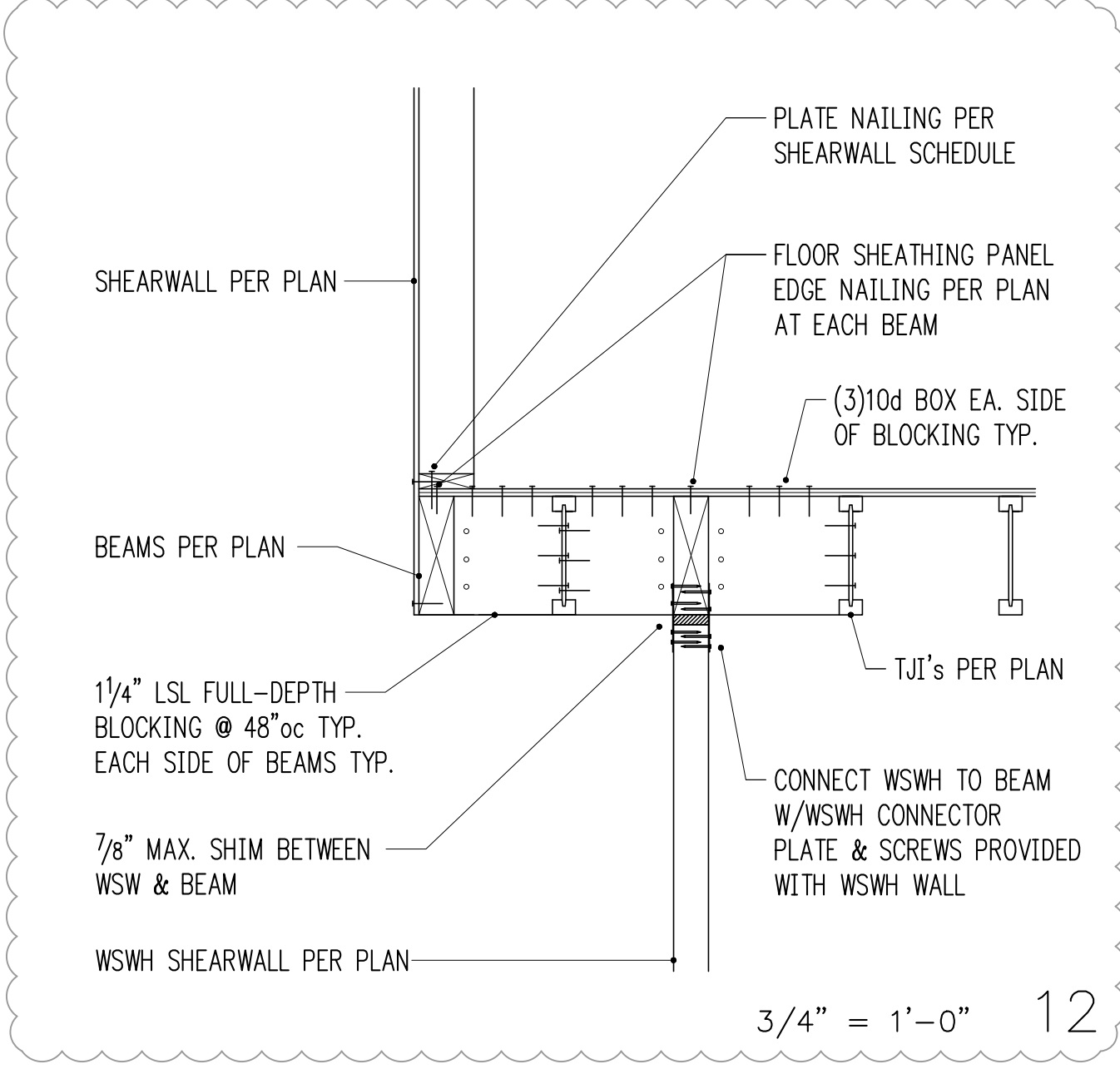
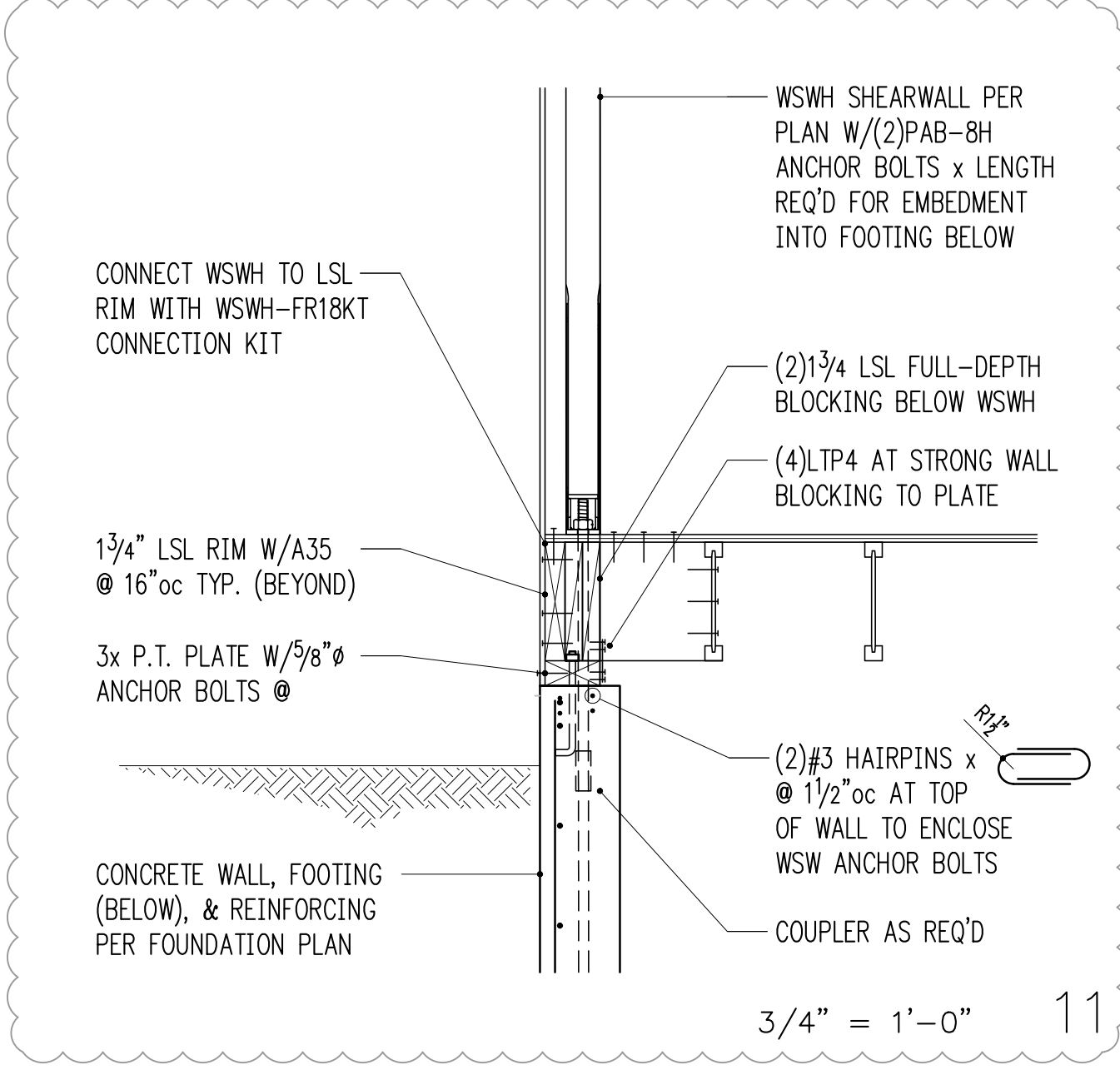
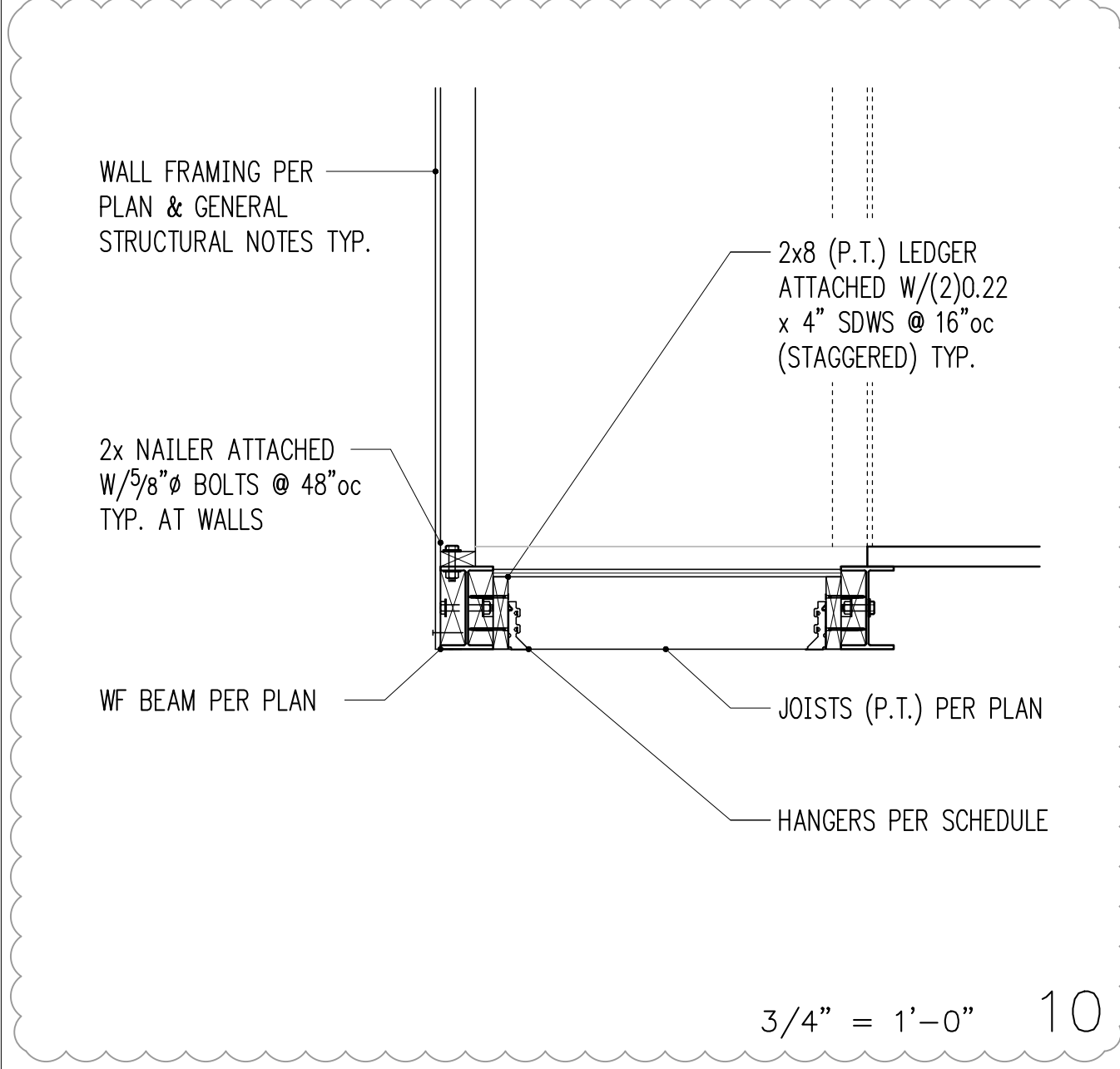
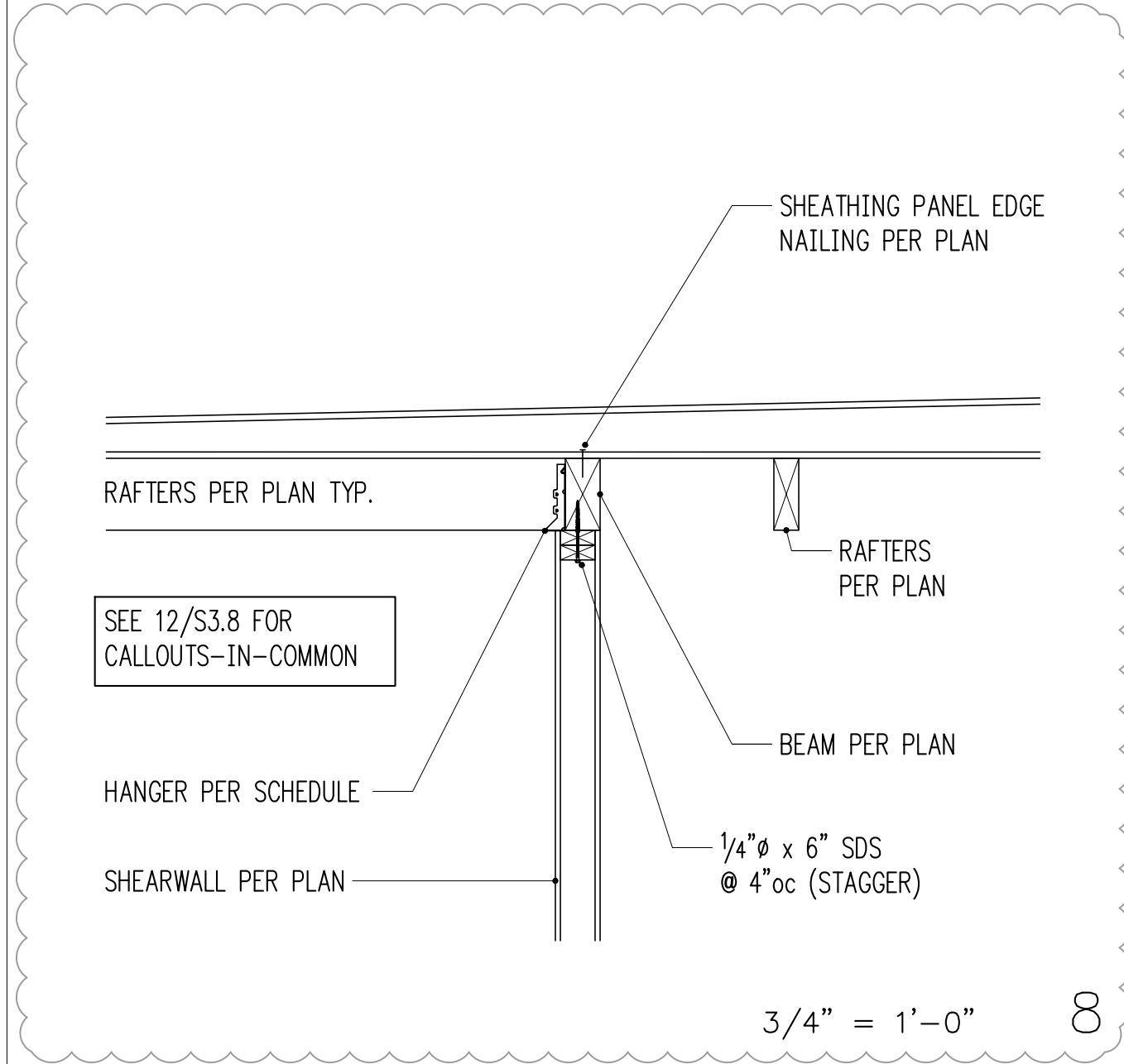
3/4" = 1'-0" 8

3/4" = 1'-0" 9

3/4" = 1'-0" 10

3/4" = 1'-0" 11

3/4" = 1'-0" 12



MERCER GROVE

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Architect	WITTMAN ESTES
5628 Airport Way S Ste 165 Seattle, WA 98106	
Issue	1. 10/13/21 PERMIT 2. 3/30/22 CORRECTIONS 3. _____ 4. _____ 5. _____
Print Date	3/30/22
Drawing Title	STRUCTURAL DETAILS
Drawing Number	S3.9